

## Board of Appeals Agenda Notice

**PLEASE TAKE NOTICE** that a meeting of the Village of Shorewood **Board of Appeals** will be held in hybrid format on **Wednesday, January 14, 2026 at 5:30 p.m.**, in the Shorewood Village Hall Court Room, 3930 N. Murray Avenue, Shorewood, WI 53211, at which time the following matters will be considered:

### Join via Zoom:

<https://zoom.us/j/93742865793?pwd=8udFkaUN92XGWasz1szpRMeatcRy4N.1>

Meeting ID: 937 4286 5793

Passcode: 288373

1. **Call to Order.**
2. **Approve minutes –December 11, 2025.**
3. **Attorney to review standards by which the Board of Appeals must abide.**
4. **Request for a special exception per Village Code [535-34 A\(1\)](#) regarding lot coverage at residential property 2521 E. Lake Bluff Blvd.**
5. **Reconvened:**
  - **Consideration of George Washington 1776 Lodge 337’s appeal of the denial of its commercial occupancy permit.**
6. **Adjournment.**

**PLEASE BE ADVISED THAT A REPRESENTATIVE OF THE APPLICANTS FOR THE ABOVE ITEMS MUST BE PRESENT AT THIS MEETING.**

Dated this 12<sup>th</sup> day of January, 2026

Toya Harrell, MMC, WCPC  
Village Clerk

PLEASE TAKE NOTE: This meeting date and time may be subject to change due to unforeseen circumstances. Please check the village website at [www.villageofshorewood.org/agendacenter](http://www.villageofshorewood.org/agendacenter) to check for possible rescheduling. This agenda constitutes notice for any subsequent adjournments or continuances of the meeting.

The Village Board of Shorewood currently holds meetings in person at Village Hall, or an alternative physical location as allowed by the Village Code. As a courtesy to citizens, Board meetings will also be made available live on the Zoom virtual platform for viewing and possible participation. However, the Village cannot guarantee the technology supporting the virtual viewing option will operate perfectly and continuously, or that the platform will work with every computer or mobile device. The only way to guarantee the ability to offer public comment, or view the Board meeting uninterrupted, is to appear in person. If the Teams platform fails, the meeting will continue as scheduled.

**Board of Appeals  
Meeting Minutes  
December 11, 2025  
DRAFT**

**1. Call to Order.**

Clerk Harrell called the meeting to order at 5:30pm.

Members present: Wendy Smith, Jon Toutenhoofd, Stephen Issacson, Kara Espera and Kevin Mathews. Quorum was established.

**2. Approve minutes –September 10, 2025**

No corrections. Minutes were approved as drafted.

**3. Attorney to review standards by which the Board of Appeals must abide.**

The agenda packet has been amended to include an email correspondence from Director Griepentrog. Attorney John Wirth reviewed the standards by which members of the Board of Appeals Committee.

**4. Consideration of George Washington 1776 Lodge 337's appeal of the denial of its commercial occupancy permit.**

At 5:38 p.m., the appellant, represented by Attorney Debbie Tomczyk, presented evidentiary testimony. Testimony was also provided by the Village of Shorewood's attorney, Nathan Bayer.

At 6:44 p.m., Chair Smith moved to close the evidentiary portion of the hearing and proceed to deliberate. The motion was seconded by Kara Espera.

Kevin Mathews subsequently moved to adjourn the meeting to allow the Board additional time to review all materials submitted into evidence during the meeting, as well as the October 20, 2025 email correspondence that was not included in the agenda packet. The motion was seconded by Wendy Smith.

The motion carried by a roll call vote of 5–0.

**5. Adjournment.**

The meeting was adjourned at 6:55pm.

Respectfully submitted,



Toya Harrell, MMC, WCPC  
Village Clerk



## Report to Board of Appeals

December 29, 2025

Prepared by: Justin Burris, Building Inspector

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**RE: Request for a special exception per Village Code 535-34 A. (1) regarding lot coverage at residential property 2521 E. Lake Bluff Blvd.**

The applicant is seeking a special exception utilizing a Zoning Review for a proposed addition to a legal non-conforming single-unit house. They would like to construct a single-story 122 square foot addition to the existing 4,099 square foot house, providing an additional bedroom on the first floor.

**Zoning/Applicable Regulations:**

535-19 E (5):

Lot coverage, maximum: 30% of the lot for the principal building on an interior lot; 40% of the lot for the principal building on a corner lot; plus up to 10% for accessory structures.

Building

Any structure built for the support, shelter or enclosure of persons, animals, chattels, or property of any kind.

Use, Accessory

A use subordinate to the principal use of a lot or parcel serving a purpose customarily incidental to the principal use.

**Staff Comments:**

At the time of the initial construction of the home in 2020, the attached (667 sq.ft.) garage was deemed to be an accessory use, and was not included in the square footage of the principal building.

Since that time in 2020 the determination has been made that all physically connected elements of a primary building, regardless of whether or not the *use* is accessory, shall be considered part of the primary building and calculated as part of the primary building lot coverage area. This determination makes the existing principal building legal non-conforming, covering 34.4% of the lot; the proposed addition would increase the nonconformity by 1.1%.

There are no accessory structures on the lot, and the minimum open space (green space) requirement of 30% that each residential lot is required to maintain is exceeded by 18%.

The proposed addition went before the Village Design Review Board on December 18, 2025, and was approved subject to the granting of a special exception by the Board of Appeals.

Village staff have no objections to the approval of a special exception.

**Materials provided:**

1. Zoning Review, December 12, 2025 (and associated plans)
2. Lot coverage analysis.
3. Design Review Board meeting minutes, December 18, 2025.

4. Board of Appeals application and supplementary materials
5. Article VII Legal Nonconformity



# RESIDENTIAL DEVELOPMENT APPLICATION

Planning & Development Department  
 3930 N. Murray Ave., Shorewood, WI 53211  
 Phone (414) 847-2640  
[pad@shorewoodwi.gov](mailto:pad@shorewoodwi.gov)  
[www.villageofshorewood.org](http://www.villageofshorewood.org)

Village of Shorewood  
 Date 12/08/2025 1:54:42 PM  
 Ref 00050276  
 Receipt 241686  
 Amount \$60.00

50276 / 50275

Date Received: 12/8/25

(x)	APPLICATION TYPE	FEE	REQUIRED MATERIALS**	PERMIT #
<input checked="" type="checkbox"/>	Design Review	\$60	Elevations Site Plans	25-2007
<input type="checkbox"/>	Conditional Use Permit – Home Occupation	\$250*	Required Findings	
<input type="checkbox"/>	Special Exception (Parking)	\$250	Required Findings	
<input type="checkbox"/>	Certified Survey Map/Vacation/Discontinuance	\$500	Survey	
<input type="checkbox"/>	Request to Rezone	\$500	Narrative	
<input type="checkbox"/>	Zoning Review – Accessory Structure	\$75*	Site Plan/Survey	
<input checked="" type="checkbox"/>	Zoning Review – Addition	\$75*	Site Plan/Survey	25-2006
<input type="checkbox"/>	Zoning Review – New Building	\$150*	Site Plan/Survey	

\*plus Engineer/Legal Fees at \$210/hour, if applicable


\*\*See back of page for more details. All materials shall be provided in a digital format to [pad@shorewoodwi.gov](mailto:pad@shorewoodwi.gov). Additional materials may be requested by the Planning & Development Department, Design Review Board or Plan Commission.

<b>Property Address:</b> 2521 Lake Bluff Blvd	<b>Zoning:</b>
<b>Building Type:</b> SE	<b>Applicant's Information, if not owner</b>
<b>Owner's Information</b>	Contractor: <input type="checkbox"/> Architect: <input checked="" type="checkbox"/>
Name: RICHARD & SUZANNE POWERS	Name: THE GARRET STUDIO, INC
Address: 2521 E LAKE BLUFF	Company: PAUL GIESEL
City/State/Zip: SHOREWOOD, WI 53211	Address: 2572 N 62ND ST
Phone:	City/State/Zip: WAUNATONA WI 53213
Email:	Phone: 414 364 6308
	Email: thegarretstudio, inc.

Has a building permit been submitted?  Yes  No  N/A

**PROPOSED IMPROVEMENTS/MODIFICATIONS:** (Submit as separate document, if more space is needed.)


1-START ADDITION & INTERIOR ALTERATIONS

  
 Applicant's signature

12/08/2025  
 Date

**OFFICE USE ONLY**

DRB/PC Meeting Date: 12/18/25

DRB/PC Meeting Outcome: APPROVED 

Staff comments and DRB/PC findings:

AS SUBMITTED.

# DESIGN REVIEW/PERMIT DOCUMENTS for an ADDITION and INTERIOR ALTERATIONS at 2521 EAST LAKE BLUFF BOULEVARD in SHOREWOOD, WISCONSIN

**SHEET INDEX**

- G101 PROJECT TITLE AND SHEET INDEX
  
- C101 EXISTING SITE PLAN AND LOT COVERAGE DATA, SITE PLAN LINE AND SYMBOL KEY, AND PROPOSED SITE PLAN AND LOT COVERAGE DATA
  
- D101 EXISTING/DEMOLITION FLOOR PLANS AND DEMOLITION WALL FILL KEY
  
- D201 EXISTING/DEMOLITION EXTERIOR ELEVATIONS
  
- A101 PROPOSED FIRST-FLOOR FLOOR PLAN, PROPOSED ROOF PLAN, WALL FILL AND DOOR SYMBOL KEYS, AND MISCELLANEOUS NOTES
  
- A201 PROPOSED EXTERIOR ELEVATIONS, WINDOW AND EXTERIOR DOOR SCHEDULE, AND DIVISION 8 WINDOW AND EXTERIOR DOOR NOTES
- A202 PROPOSED EXTERIOR ELEVATION AND WINDOW SCHEDULE
  
- S101 PROPOSED FOOTING/FOUNDATION/BASEMENT FLOOR PLAN, BUILDING SECTION AT PROPOSED ADDITION, PROPOSED FOUNDATION DETAIL, WALL FILL AND DOOR SYMBOL KEYS, AND ABBREVIATIONS LIST

**The Garret Studio, Inc.**  
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Wauwatosa, Wisconsin 53213  
p.1 (414) 364-6368  
e. thegarretstudio@me.com

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**DESIGN REVIEW/PERMIT DOCUMENTS for an  
ADDITION AND INTERIOR ALTERATIONS at  
2521 E LAKE BLUFF BLVD in  
SHOREWOOD, WISCONSIN**

document released for design review and permitting

FIELD VERIFY DIMENSIONS  
AND CONDITIONS

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**REVISIONS**

No.	DATE	DESCRIPTION
1	12/12/25	House floor area data correction

sheet contents:  
PROJECT TITLE  
SHEET INDEX

SHEET G101

**The Garret Studio, Inc.**

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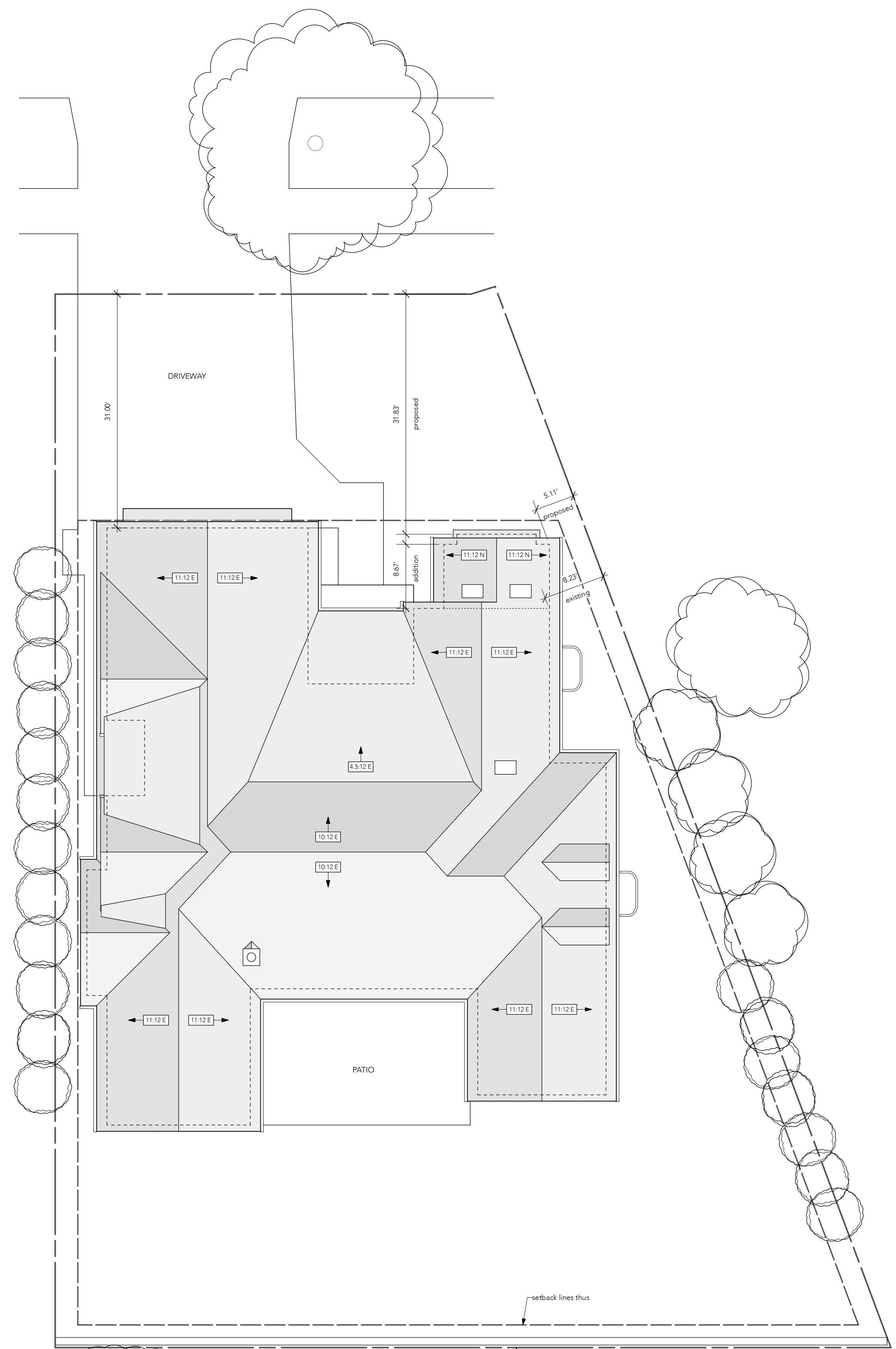
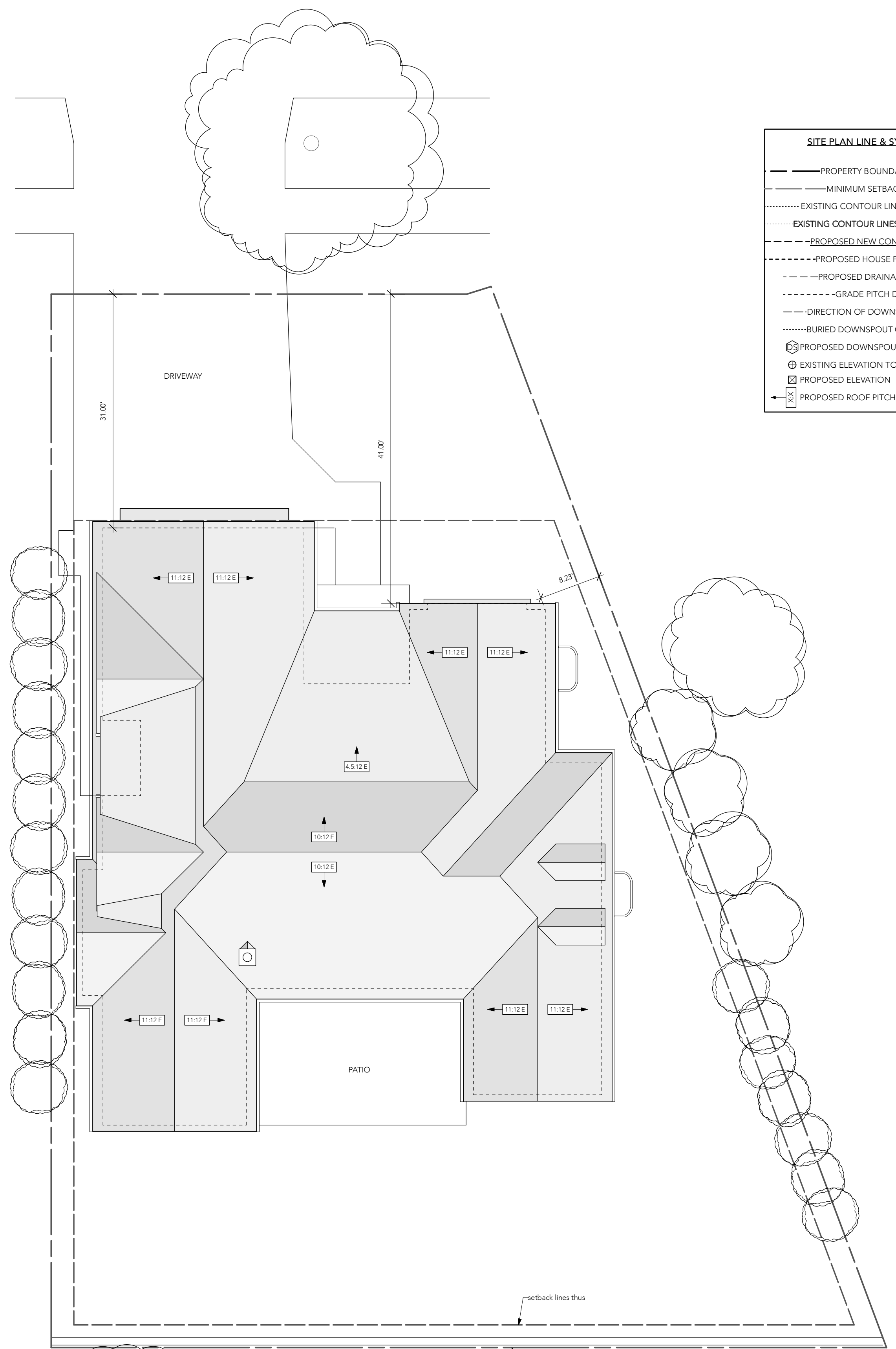
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No.	DESCRIPTION
1	House floor area data correction
DATE	12/12/25

sheet contents:  
 EXISTING SITE PLAN  
 PROPOSED SITE PLAN  
 SITE PLAN LINE AND SYMBOL KEY  
 EXISTING AND PROPOSED LOT COVERAGE  
 DATA

**SHEET C101**

**SITE PLAN LINE & SYMBOL KEY**

- PROPERTY BOUNDARY LINES —
- MINIMUM SETBACK LINES ---
- ..... EXISTING CONTOUR LINES TO REMAIN .....
- - - EXISTING CONTOUR LINES TO BE ALTERED - - -
- - - PROPOSED NEW CONTOUR LINES - - -
- - - PROPOSED HOUSE FOOTPRINT - - -
- - - PROPOSED DRAINAGE SWALE - - -
- - - GRADE PITCH DOWN - - -
- - - DIRECTION OF DOWNSPOUT FLOW - - -
- - - BURIED DOWNSPOUT CONDUCTOR - - -
- ⊙ PROPOSED DOWNSPOUT LOCATION
- ⊙ EXISTING ELEVATION TO REMAIN
- ⊙ PROPOSED ELEVATION
- ⊙ PROPOSED ROOF PITCH & PITCH DIRECTION



**1 EXISTING SITE PLAN**  
 C101 Scale: 1" = 10'-0" 0 5'-0" 10'-0" 20'-0"

EXISTING LOT COVERAGE DATA:  
 Lot: 11,884 square feet

STRUCTURES:  
 House First Floor: 3,432 square feet\*  
 Garage: 667 square feet  
**TOTAL STRUCTURES: 4,099 square feet**

HARDSCAPE:  
 Driveway and Walks: 1,417 square feet  
 Patio: 540 square feet  
**TOTAL HARDSCAPE: 1,957 square feet**

**TOTAL IMPERVIOUS SURFACES: 6,056 square feet**

**NET PERMEABLE SURFACE: 5,828 square feet**

LOT COVERAGE:  
 House: 28.9%  
 Garage: 5.6%

**PERCENTAGE GREEN SPACE: 49.0%**

\* Includes covered porches

**2 PROPOSED SITE PLAN**  
 C101 Scale: 1" = 10'-0" 0 5'-0" 10'-0" 20'-0"

PROPOSED LOT COVERAGE DATA:  
 Lot: 11,884 square feet

STRUCTURES:  
 House First Floor: 3,554 square feet\*  
 Garage: 667 square feet  
**TOTAL STRUCTURES: 4,221 square feet**

HARDSCAPE:  
 Driveway and Walks: 1,417 square feet  
 Patio: 540 square feet  
**TOTAL HARDSCAPE: 1,957 square feet**

**TOTAL IMPERVIOUS SURFACES: 6,178 square feet**

**NET PERMEABLE SURFACE: 5,706 square feet**

LOT COVERAGE:  
 House: 29.9%  
 Garage: 5.6%

**PERCENTAGE GREEN SPACE: 48.0%**

\* Includes covered porches

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 ADDITION AND INTERIOR ALTERATIONS at  
 2521 E LAKE BLUFF BLVD in  
 SHOREWOOD, WISCONSIN**

document released for design review and permitting

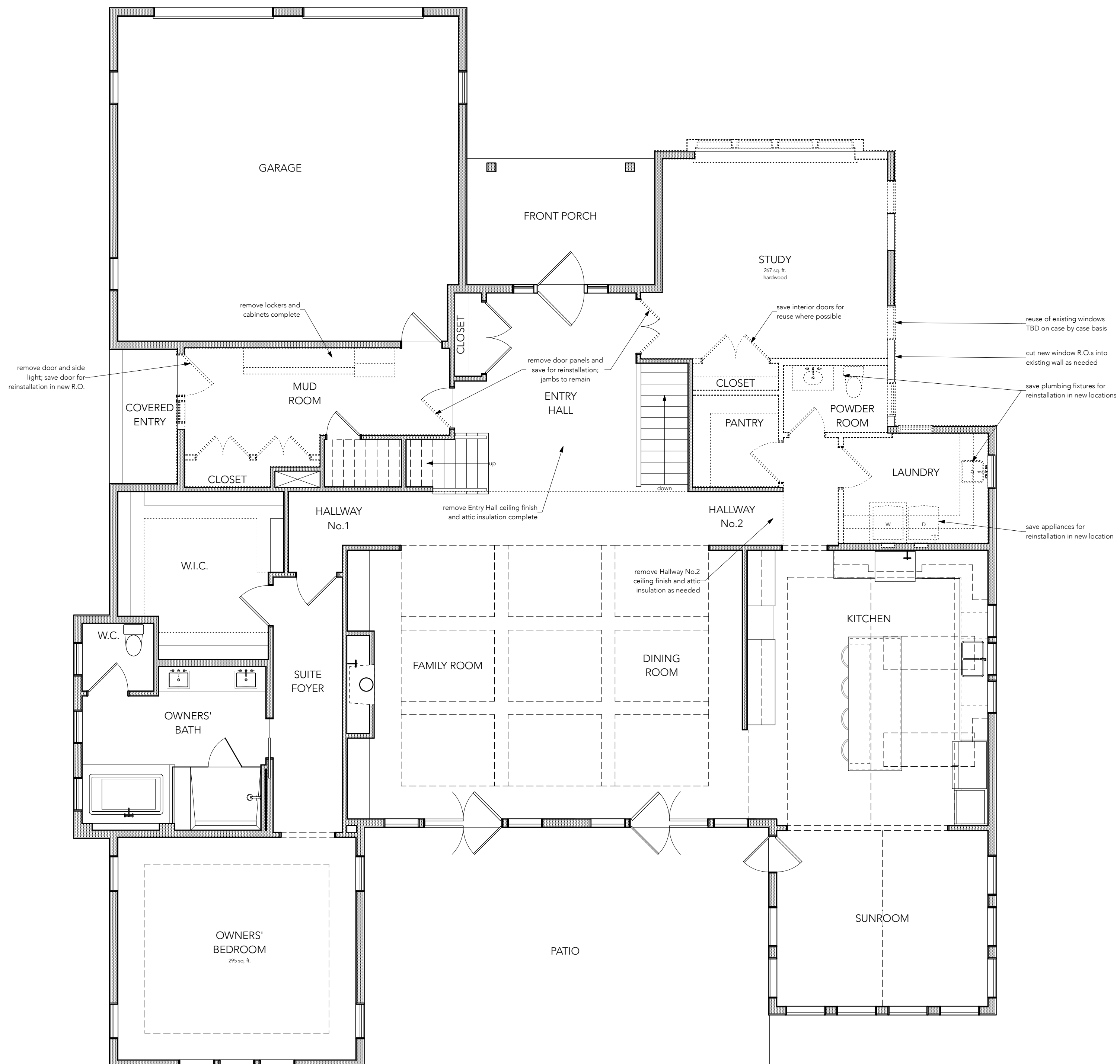
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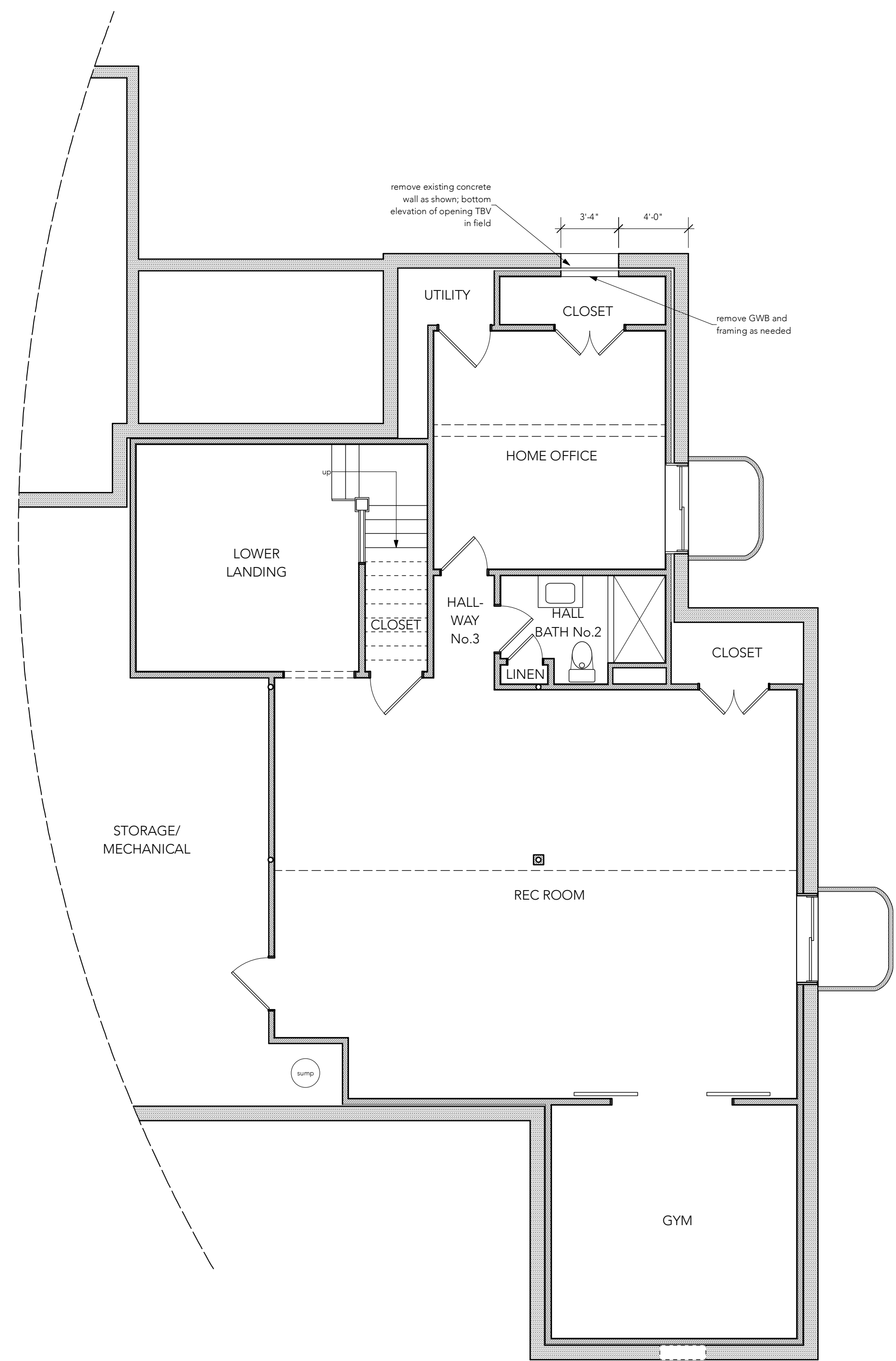
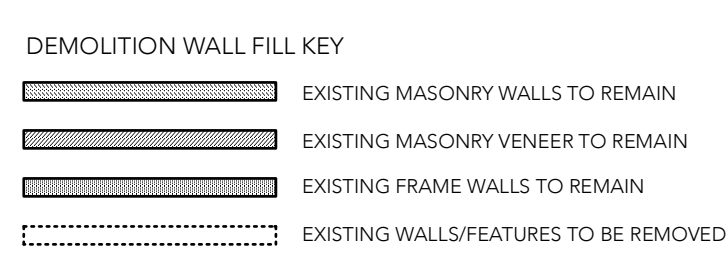
REVISIONS	
No.	DESCRIPTION
1	House floor area data correction

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 EXISTING DEMOLITION FLOOR PLANS  
 DEMOLITION WALL FILL KEY

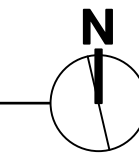
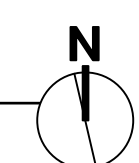
SHEET D101



1 EXISTING/DEMOLITION FIRST-FLOOR FLOOR PLAN  
 D101 Scale: 3/16" = 1'-0" 0'-0" 5'-0"



2 EXISTING/DEMOLITION BASEMENT FLOOR PLAN  
 D101 Scale: 3/16" = 1'-0" 0'-0" 5'-0"



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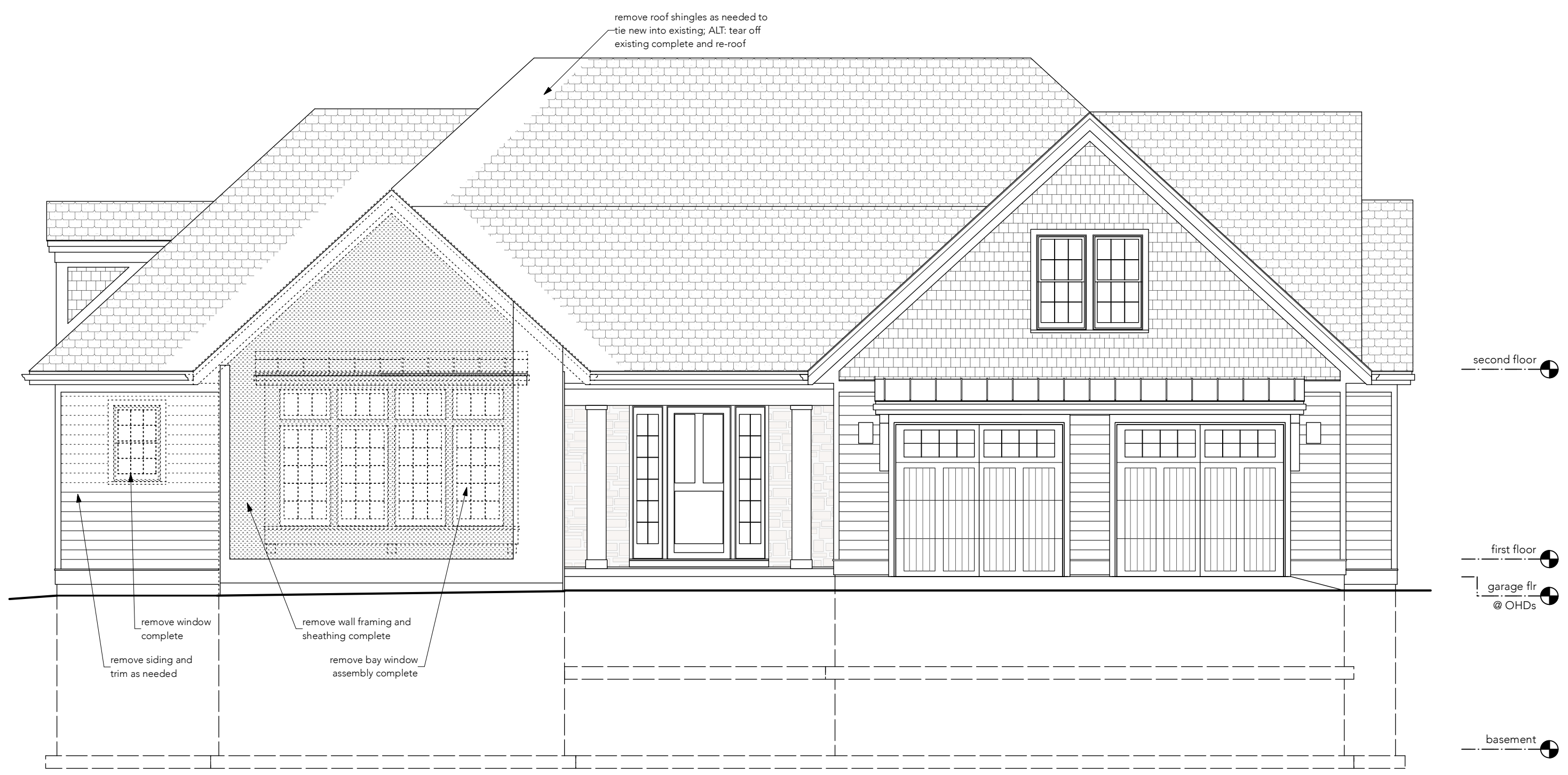
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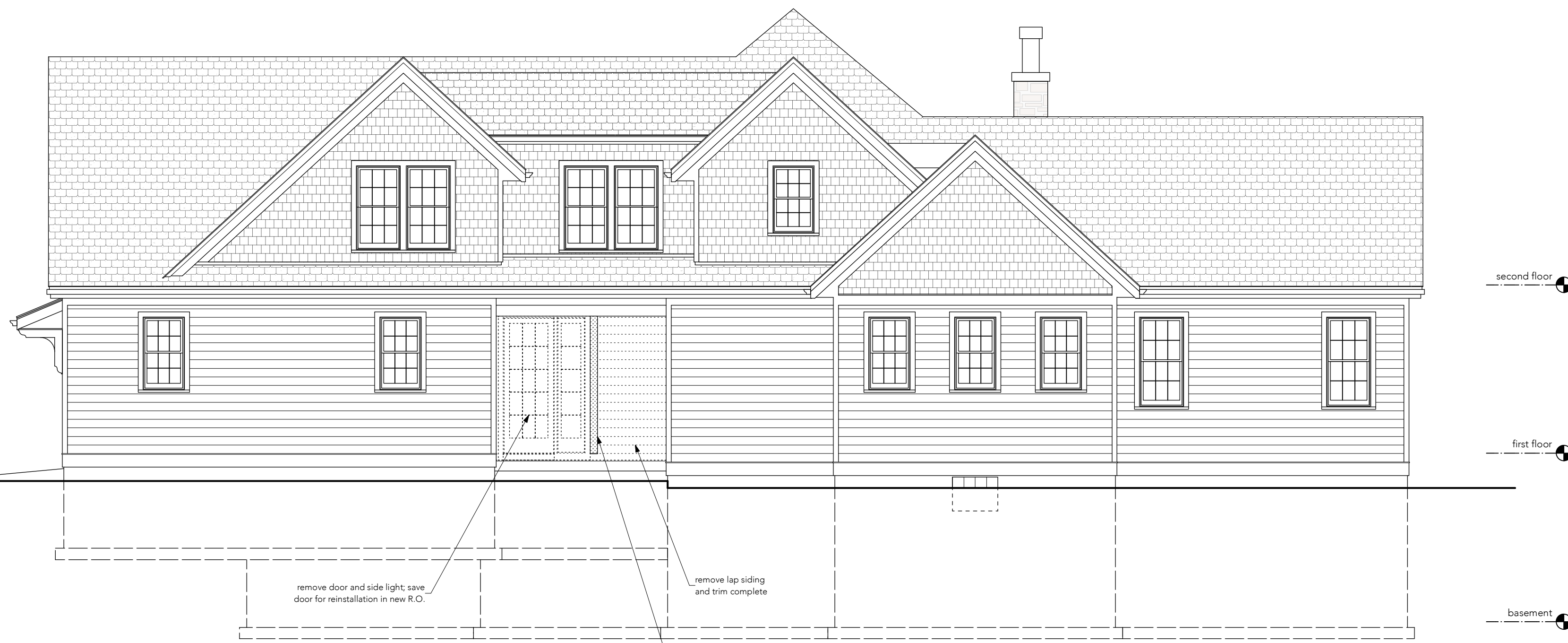
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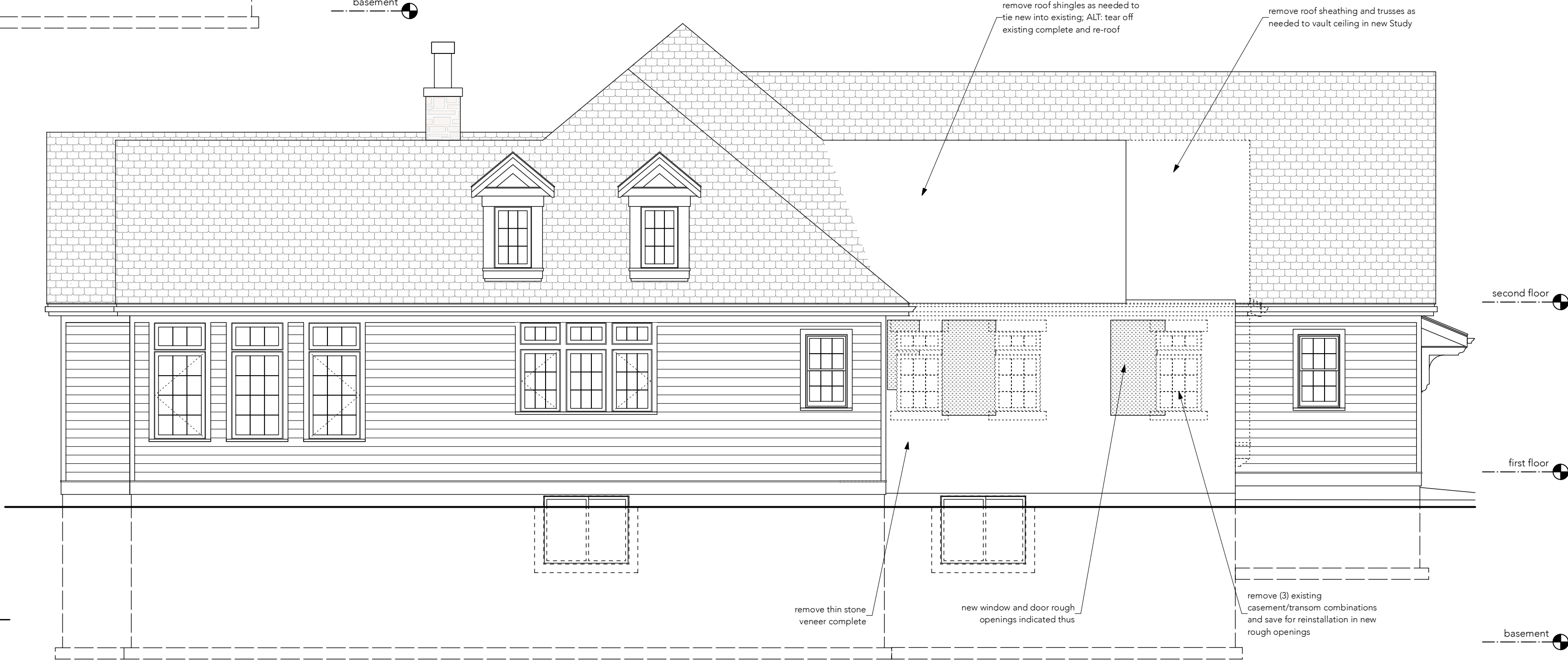
**1** EXISTING/DEMOLITION FRONT/NORTH EXTERIOR ELEVATION  
 D201 Scale: 3/16" = 1'-0" 01'-0" 5'-0"



**2** EXISTING/DEMOLITION REAR/SOUTH EXTERIOR ELEVATION  
 D201 Scale: 3/16" = 1'-0" 01'-0" 5'-0" NO WORK PROPOSED FOR SOUTH ELEVATION



**3** EXISTING/DEMOLITION SIDE/WEST EXTERIOR ELEVATION  
 D201 Scale: 3/16" = 1'-0" 01'-0" 5'-0"

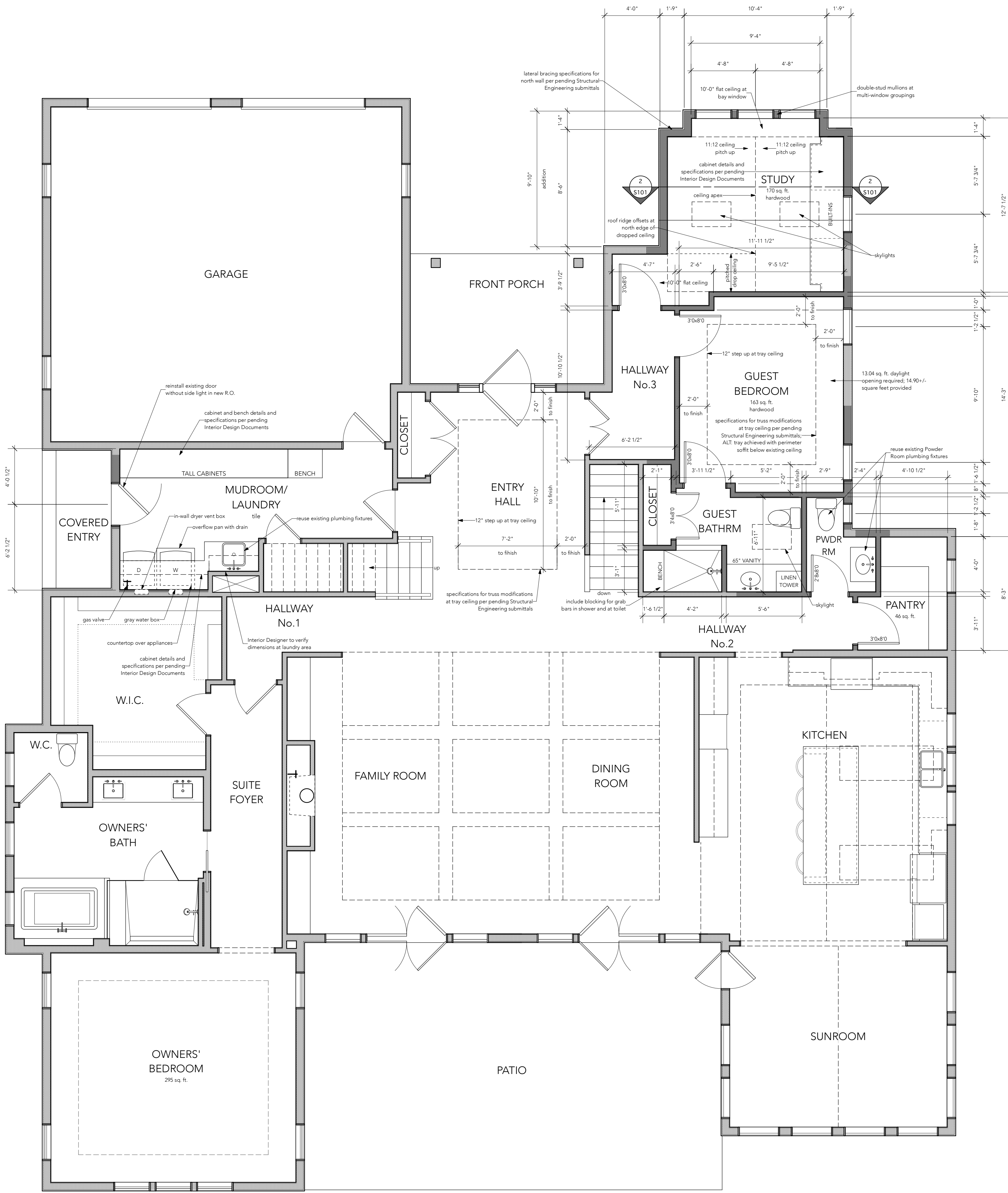


**4** EXISTING/DEMOLITION SIDE/EAST EXTERIOR ELEVATION  
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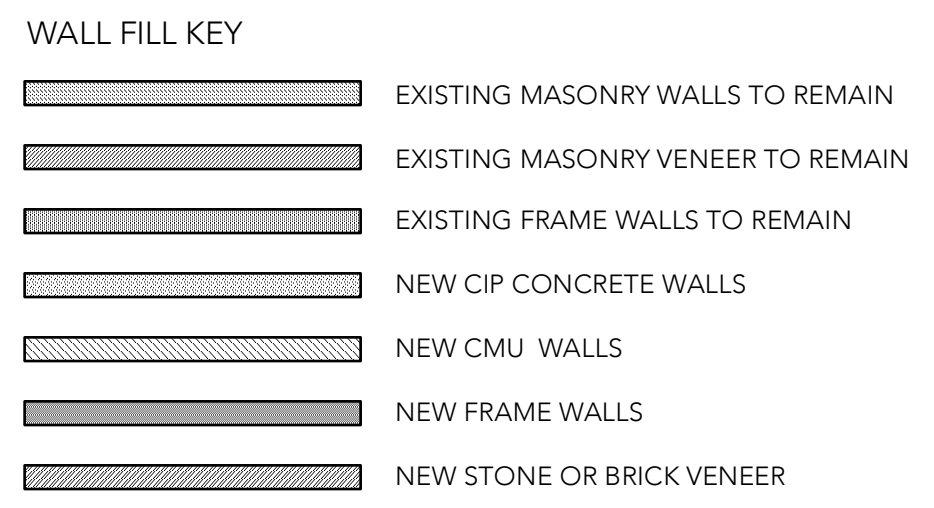
REVISIONS	
No.	DATE
1	12/12/25

DESCRIPTION
House floor area data correction

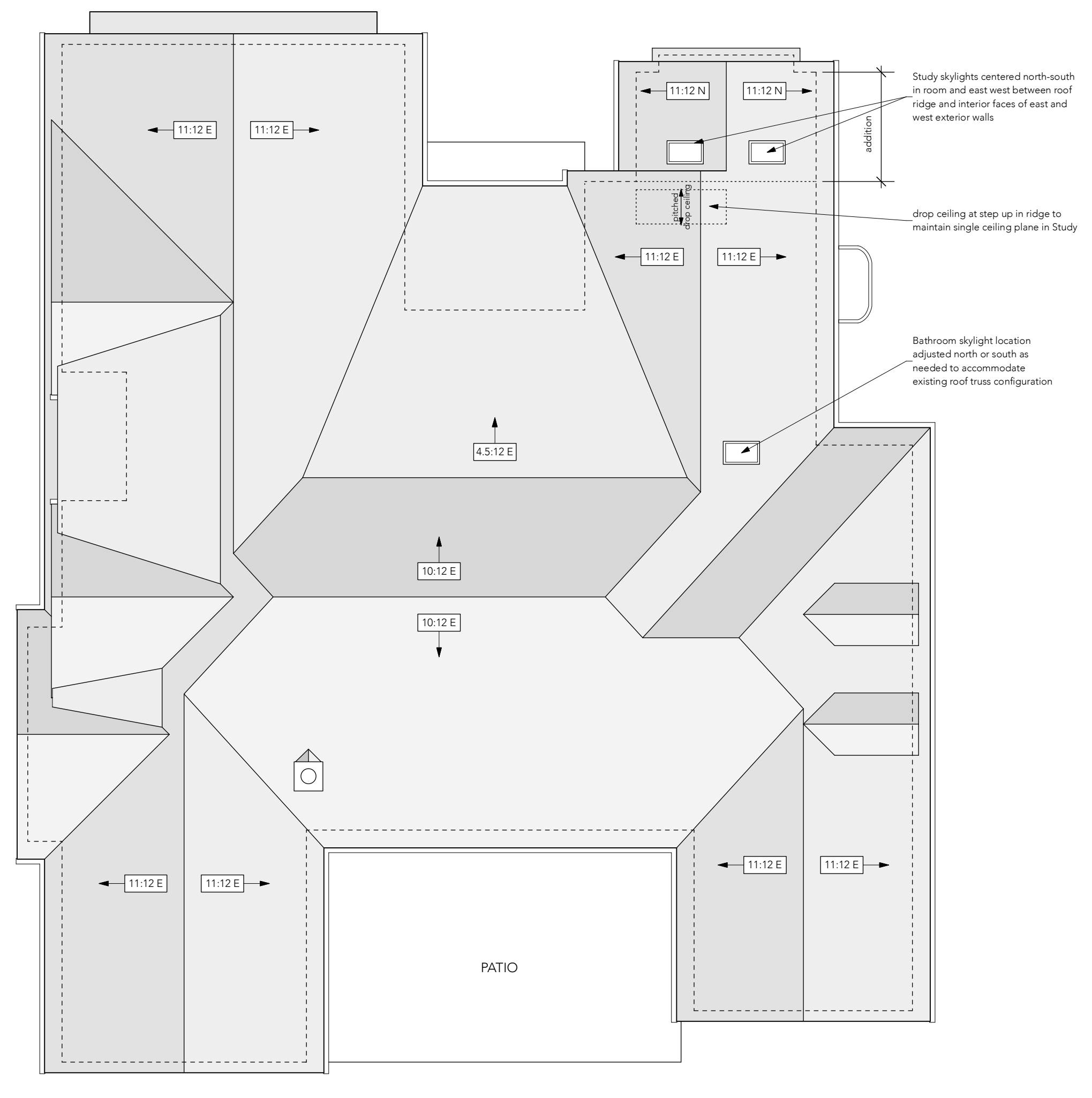
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 EXISTING/DEMOLITION EXTERIOR ELEVATIONS



1 PROPOSED FIRST-FLOOR FLOOR PLAN  
 A101 Scale: 1/4" = 1'-0" 0 1'-0" 5'-0"



2 PROPOSED ROOF PLAN  
 A101 Scale: 1/8" = 1'-0" 0'-0" 5'-0"



- GENERAL NOTES**
- If there is a conflict between these Design Review Documents and the Codes and Ordinances, the Codes and Ordinances shall apply.
  - If there is a conflict between these Design Review Documents and the Owners' Scope of Work, the Owners' Scope of Work shall apply unless in conflict with the Codes and Ordinances.
  - All interior walls and partitions framed with 2x4 studs unless noted otherwise on the Proposed Floor Plans.
  - Heating/cooling, electrical, and plumbing systems to be Design-Build by MEP Subcontractors working in conjunction with the GC and Owners.
  - Any structural designs and specifications shown on these Design Review Documents are subject to revision on the pending Structural Engineering submittals; submittals to be developed after demolition work is substantially complete.
  - Specifications for floor, wall, and ceiling finishes per the Owners' Scope of Work.
  - Specifications for interior cabinetry, millwork, doors, and trim per the Owners' Scope of Work.
  - Specifications for plumbing fixtures, decorative light fixtures, door hardware, etc. per the Owners' Scope of Work.

- FLOOR PLAN AND BUILDING SECTION DIMENSIONING NOTES**
- Interior dimensions are measured to and from face of framing, and do not include any wall finishes unless noted otherwise on the Proposed Floor Plans.
  - Exterior dimensions for exterior walls are measured to and from outside face wall sheathing, and do not include siding material.
  - Exterior dimensions assume a wall sheathing thickness of 1/2".
  - Vertical dimensions on the Proposed Building Section are measured from subflooring or concrete slab where applicable to underside of headers, ceiling joists, and/or roof trusses, and do not include any floor or ceiling finishes unless noted otherwise on the drawing.
  - Any horizontal truss dimensions shown on the Proposed Building Section do not include thickness of wall sheathing.

- INSULATION SPECIFICATIONS**
- Foundation walls: 2" R-10 rigid foam insulation applied to exterior faces of foundation walls except as noted on the Proposed Footing/Foundation/Basement Floor Plan and/or Proposed Building Section; insulation material exposed above grade to be finished with Tuff II coating or equal unless noted otherwise.
  - Box sills: R-21 closed-cell spray foam or equal.
  - 2x6 exterior walls: R-21 high-density fiberglass batts or equal.
  - Vaulted ceiling: R-49 minimum closed-cell spray foam or flash-and-batt system as described in Note No.6 below.
  - Any cantilevered floor decks: R-40 or greater fiberglass batts or equal.
  - Any flat roofs over conditioned space: R-49 minimum flash-and-batt system with 2" minimum closed-cell spray foam applied to underside of roof deck and encasing roof truss top chords finished with high-density fiberglass batts as needed to reach stated R-value.
  - Insulation dams and baffle chutes to be provided as needed.
  - Vapor barriers to be provided per Insulation Manufacturers' specifications or as required by code.
  - Roofs to be vented low with continuous strip vents in soffits and high with continuous ridge vents supplemented with static vents as needed.

- LATERAL BRACING NOTES**
- Typical exterior walls to be laterally-braced using CWSP method from SPS Table 321.25-G except at walls labeled "Portal Frame" or "Moment Frame" on Proposed Floor Plans.
  - Walls labeled "Portal Frame" to be framed per SPS Figure 321.25-A.
  - Walls labeled "Moment Frame" to be framed per pending Structural Engineering Submittals.
  - Any interior walls to be used for lateral bracing per pending Structural Engineering Submittals.

3 MISCELLANEOUS NOTES  
 A101 NO SCALE

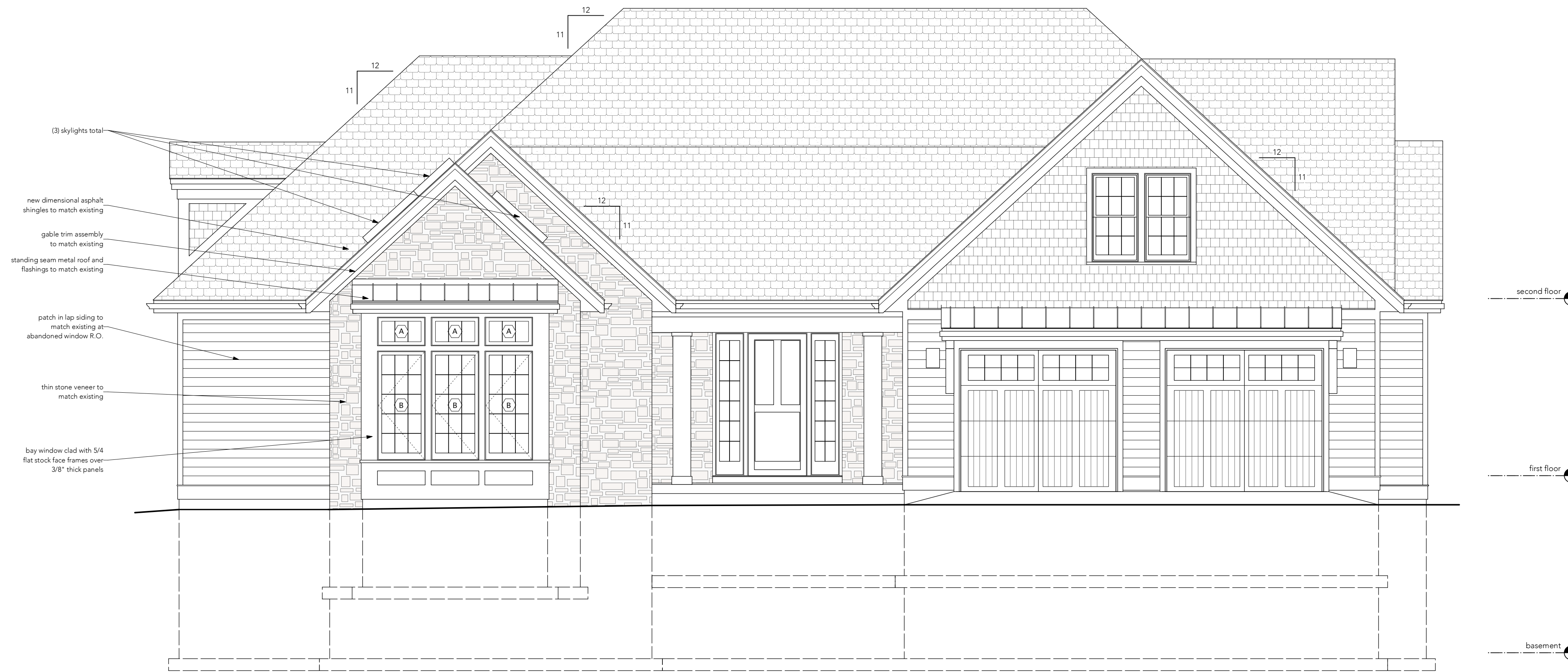
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REVISIONS	DATE	DESCRIPTION
No. 1	12/12/25	House floor area data correction

sheet contents:  
 PROPOSED FIRST-FLOOR FLOOR PLAN  
 PROPOSED ROOF PLAN  
 WALL FILL AND DOOR SYMBOL KEYS  
 MISCELLANEOUS NOTES

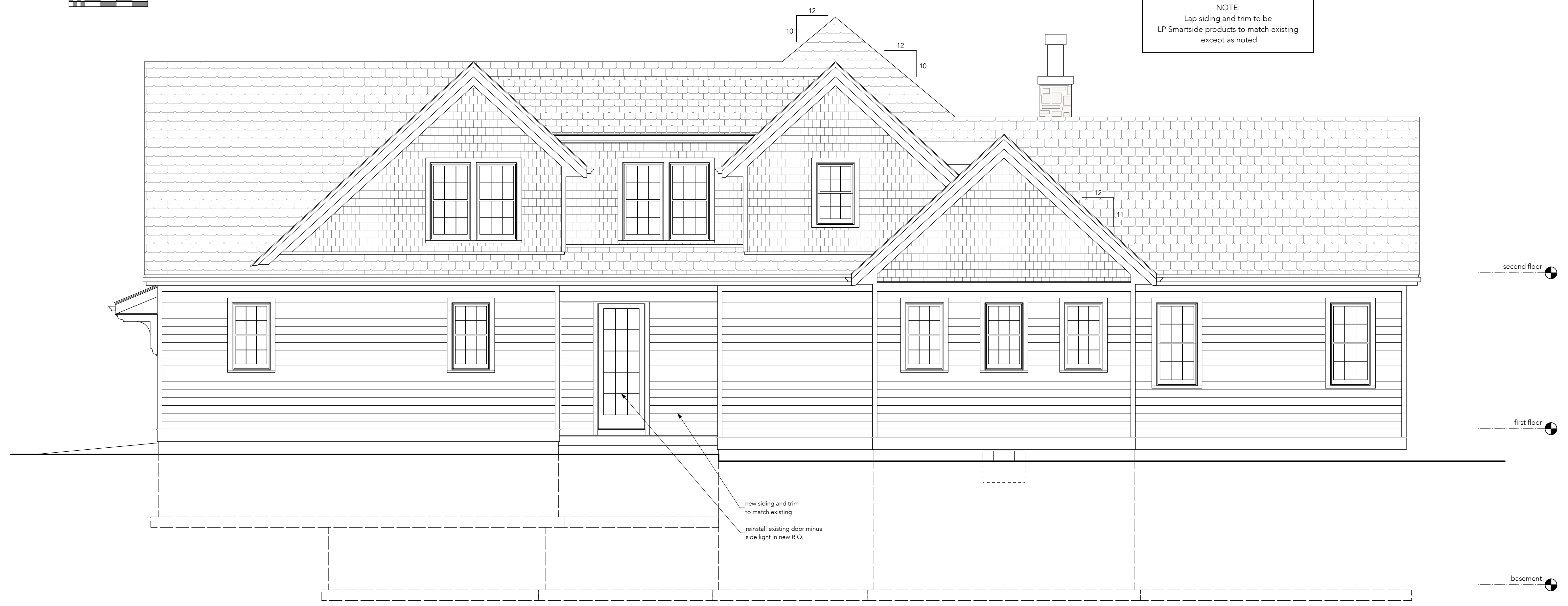
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1 PROPOSED FRONT/NORTH EXTERIOR ELEVATION  
 A201 Scale: 1/4" = 1'-0"  
 0 1'-0" 5'-0"

UNIT MARK	BRAND	TYPE	UNIT NUMBER/ FRAME SIZE	NOTES
A	Ultimate by Marvin	casement	UCA 3220	
B	Ultimate by Marvin	casement	UCA 3274E	custom 6'-1 1/8" height
C	Velux	skylight	VSE C06	
D	Ultimate by Marvin	casement	UCA 1840	
E	Ultimate by Marvin	casement	N/A	reuse existing window combinations

- DIVISION 8 WINDOW AND EXTERIOR DOOR NOTES**
1. Choose stock sizes from Manufacturer's catalog as close to specified Marvin Ultimate sizes as possible if alternate brand is used in field.
  2. Window Vendor to verify that specified windows meet any and all egress, daylight opening, and natural ventilation codes.
  3. Multi-window groupings to be separated by double-stud structural mullions; no factory-mulled assemblies unless noted otherwise on the Proposed Exterior Elevation drawings.
  4. Vertical stacked window groupings to be separated by double 2x mullions laid flat; no factory-mulled assemblies unless noted otherwise on the Proposed Exterior Elevation drawings.
  5. Muntin grids per the Proposed Exterior Elevation drawings; muntins to be SDLs with spacers.
  6. All glazing to be thermal glass with low-E3 coating and Argon gas fill.
  7. Tempered glass adjacent to doors per code.
  8. Tempered glass in or adjacent to interior and exterior stairways and steps per code.
  9. Tempered glass over or adjacent to tubs and showers per code.
  10. Dashed arrows on casement and awning windows indicate direction of opening; casements and awnings with no arrows indicate non-operable units or picture windows.
  11. Operable windows to have full screens.



2 PROPOSED SIDE/WEST EXTERIOR ELEVATION  
 A201 Scale: 1/4" = 1'-0"  
 0 1'-0" 5'-0"

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REVISIONS		DESCRIPTION
No.	DATE	House floor area data correction
1	12/12/25	

sheet contents:  
 PROPOSED EXTERIOR ELEVATIONS  
 WINDOW AND EXTERIOR DOOR SCHEDULE  
 DIVISION 8 WINDOW AND EXTERIOR DOOR  
 NOTES



WINDOW/EXTERIOR DOOR SCHEDULE				
UNIT MARK	BRAND	TYPE	UNIT NUMBER/ FRAME SIZE	NOTES
A	Ultimate by Marvin	casement	UCA 3220	
B	Ultimate by Marvin	casement	UCA 3274E	custom 6'-1 1/8" height
C	Velux	skylight	VSE C06	
D	Ultimate by Marvin	casement	UCA 1840	
E	Ultimate by Marvin	casement	N/A	reuse existing window combinations

1 PROPOSED SIDE/EAST EXTERIOR ELEVATION  
 A202 Scale: 1/4" = 1'-0" 0 1'-0" 5'-0"

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FIELD VERIFY DIMENSIONS  
 AND CONDITIONS

DRAWN BY:  
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REVISIONS	
No.	DESCRIPTION
1	12/12/25 House floor area data correction

sheet contents:  
 PROPOSED EXTERIOR ELEVATION  
 WINDOW AND EXTERIOR DOOR SCHEDULE

**The Garret Studio, Inc.**

2572 N 62nd Street  
Wauwatosa, Wisconsin 53213  
p.1 (414) 364-6368  
e. thegarretstudio@me.com

document type:  
**DESIGN REVIEW/PERMIT DOCUMENTS for an  
ADDITION AND INTERIOR ALTERATIONS at  
2521 E LAKE BLUFF BLVD in  
SHOREWOOD, WISCONSIN**

document released for design review and permitting

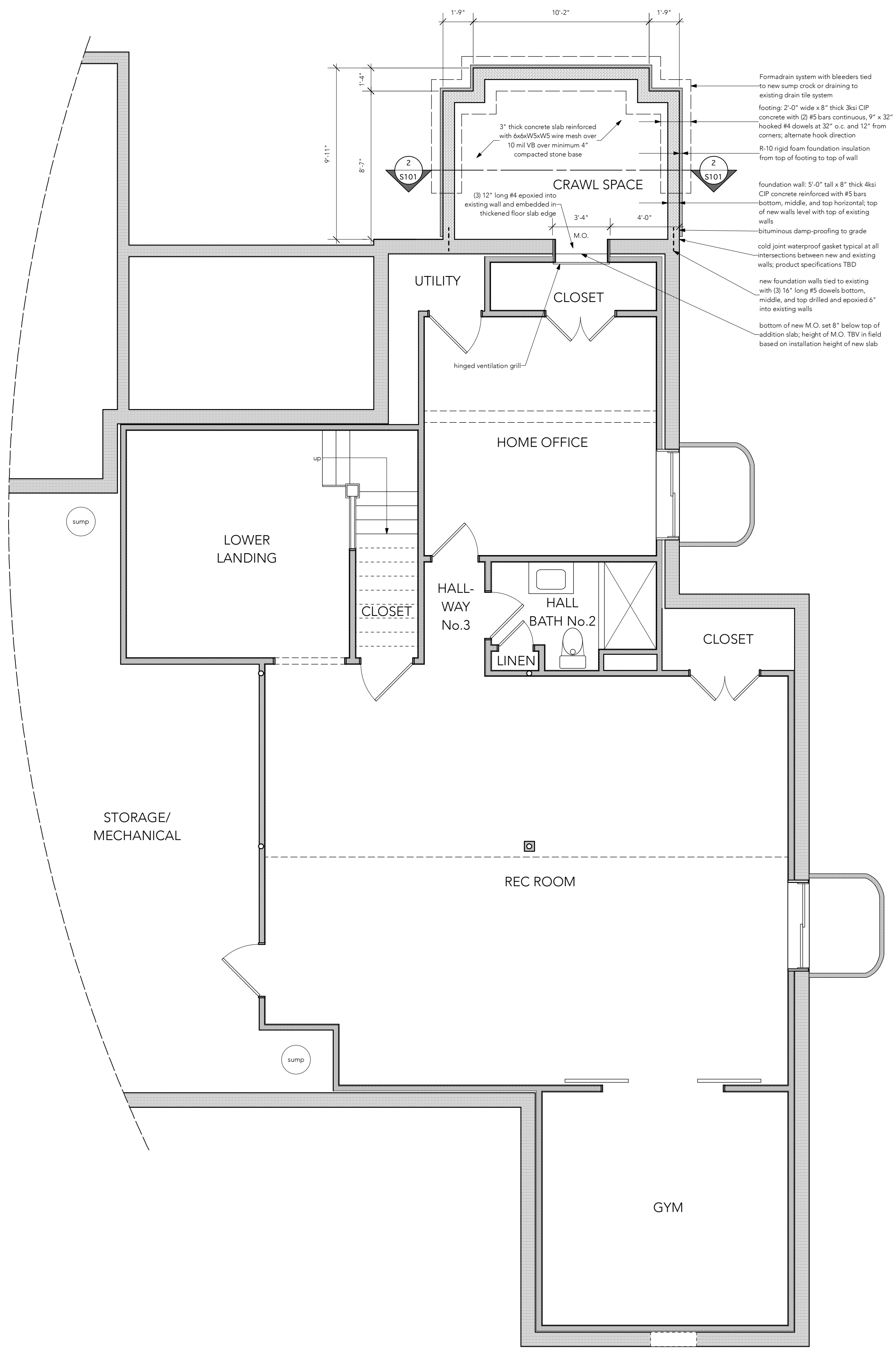
FIELD VERIFY DIMENSIONS  
AND CONDITIONS

DRAWN BY:  
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REVISIONS	
No.	DESCRIPTION
1	House floor area data correction

sheet contents:  
**PROPOSED FOOTING/FOUNDATION/  
BASEMENT FLOOR PLAN**  
**PROPOSED BUILDING SECTION AT ADDITION**  
**FOUNDATION DETAIL**  
**WALL FILL AND DOOR SYMBOL KEYS**  
**ABBREVIATIONS LIST**

**SHEET S101**



**1** PROPOSED FOOTING/FOUNDATION/BASEMENT FLOOR PLAN  
Scale: 1/4" = 1'-0"  
0 1'-0" 5'-0"

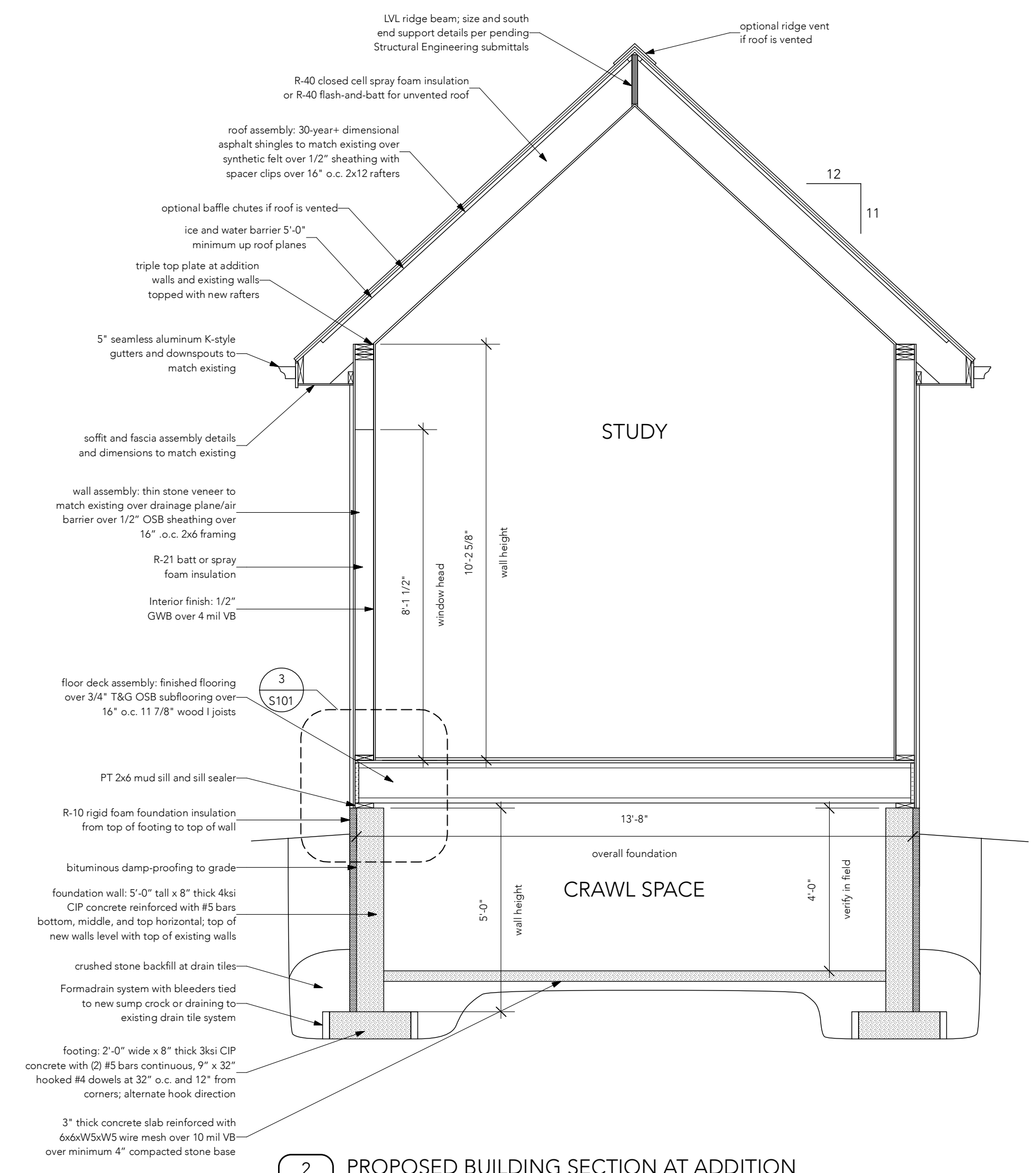
**WALL FILL KEY**

[Pattern]	EXISTING MASONRY WALLS TO REMAIN
[Pattern]	EXISTING MASONRY VENEER TO REMAIN
[Pattern]	EXISTING FRAME WALLS TO REMAIN
[Pattern]	NEW CIP CONCRETE WALLS
[Pattern]	NEW CMU WALLS
[Pattern]	NEW FRAME WALLS
[Pattern]	NEW STONE OR BRICK VENEER

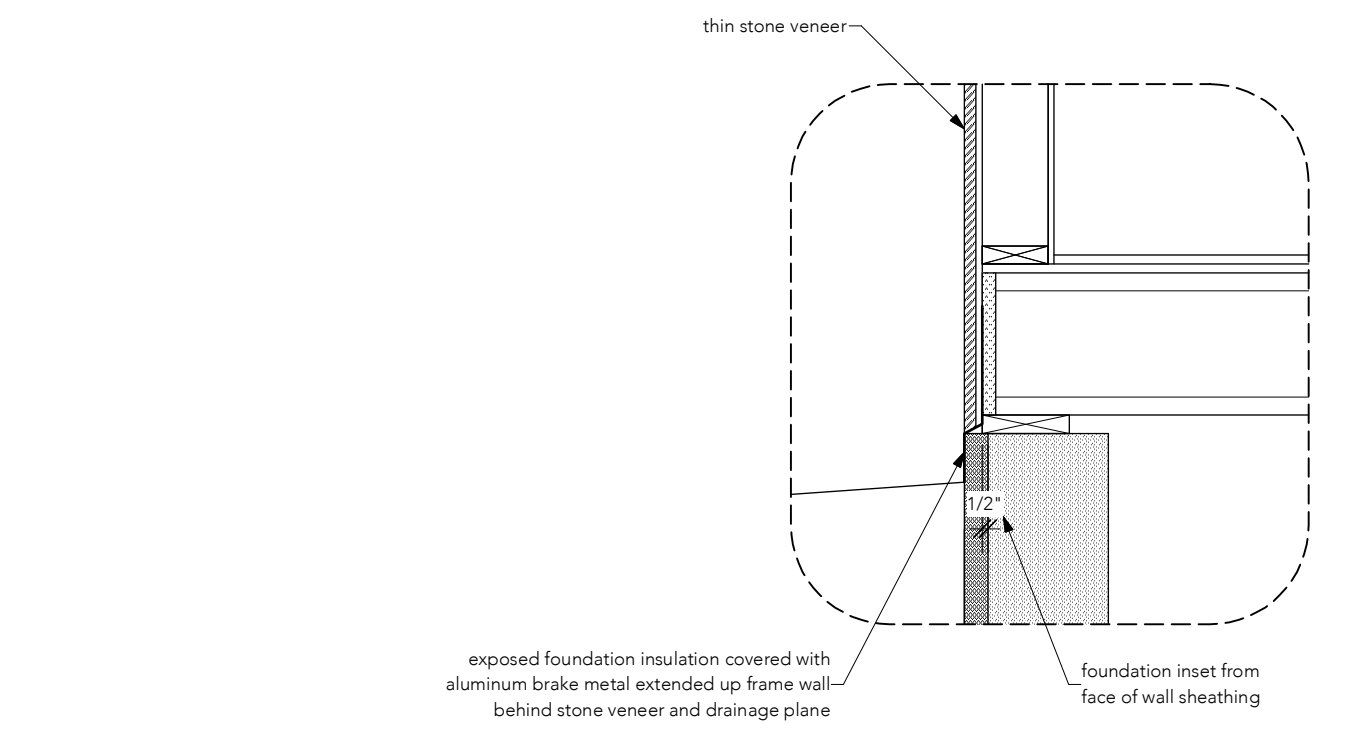


**3** PROPOSED FOUNDATION DETAIL  
Scale: 3/4" = 1'-0"  
0 1'-0" 2'-0"

NOTE: Detail 3/S101 applies to all walls of Study addition except at bay window



**2** PROPOSED BUILDING SECTION AT ADDITION  
Scale: 3/8" = 1'-0"  
0 1'-0" 3'-0"



**ABBREVIATIONS**

AFF:	Above Finished Floor
Alum.:	Aluminum
ALT:	Alternate/Alternative
Carp.:	Carpenter
CE:	Civil Engineer
CIP:	Cast In Place (Concrete)
Conc.:	Concrete
Config.:	Configuration
Cont.:	Continuous
DBL:	Double
DL.O:	Daylight Opening
DW:	Dishwasher
DWO:	Double Wall Ovens
D:	Clothes Dryer
EAN:	Except As Noted
ERV:	Energy Recovery Ventilation
Extg.:	Existing
Ext.:	Exterior
FD:	Floor Drain
GC:	General Contractor
GWB:	Gypsum Wall Board
HVAC:	Heating, Ventilation, and Air Conditioning
IBC:	International Building Code
IEBC:	International Existing Building Code
INT.:	Interior
Kips:	1,000 pounds
KS/ksq:	Kips per Square Inch
LVL:	Laminated Veneer Lumber
MEP:	Mechanical, Electrical, Plumbing
M.O.:	Masonry Opening
NEC:	National Electrical Code
O.C.:	On Center
O.D.:	Outside Diameter
PE:	Structural Engineer
P.T.:	Pressure Treated
R.O.:	Rough Opening
Subflr.:	Subfloor(ing)
T&G:	Tongue and Groove
TBD:	To Be Determined
TBV:	To Be Verified
Typ.:	Typical
UBC:	Uniform Building Code
UDC:	Uniform Dwelling Code
UNO:	Unless Noted Otherwise
VB:	Vapor Barrier
W:	Washing Machine
WIC:	Walk-In Closet



AT THE EDGE OF THE CITY AND  
THE HEART OF EVERYTHING

Date: December 12, 2025

To: Paul Giesen

Delivered via email: [thegarretstudio@mac.com](mailto:thegarretstudio@mac.com)

RE: Zoning Review – 2521 E Lake Bluff Blvd. (239-0519-000) Residential Addition

The Village of Shorewood has completed a zoning review of the above referenced property with respect to the proposed residential addition and notes the following:

The property located at 2521 E Lake Bluff Blvd. is zoned R-5 Single-Household Residence District No. 1. Zoning standards for this district are located within 535-19E.

The existing building, proposed addition and land do or do not conform to the applicable zoning ordinances, including but not limited to those ordinances limiting the use of the real estate or establishing requirements, as to the following:

Requirement	Proposed or Existing	Permitted	Compliant
Use of premises	Single Household Living Unit	Single Household Living Unit	Y
Lot width	55 ft.+	50 ft. min.	Y
Lot area	11,884 sq. ft.	6,000 sq. ft. min.	Y
Principal building area	4,336 sq. ft. footprint (including addition)	1,200 sq. ft. min.	Y
Principal building height	19 ft. 7 in.	30 ft. max.	Y
Chimney height	N/A	30 ft. max.	N/A
Front setback	31 ft.	29 ft. min.*	Y
Side setback (west)	6.05 ft.	3 ft. min.	Y
Side setback (east)	5.11 ft.	3 ft. min.	Y
Rear setback	N/A	3 ft. min.	N/A
Lot coverage (principal building)	36.4%	30% of land area, max. 3,565 sq.ft. max.	N
Lot coverage (accessory structure)	0%	10% of land area, max.	Y
Required open space (535-9G)	47%	30% of lot, min.	Y
Garage	Existing attached garage	Garage required per 535-47A.(3)(a)	Y
Number of parking spaces	2 enclosed garage stalls	1 enclosed required; 2 exterior spaces max. (not in front or side yard)	Y

Accessory structures, location	N/A	Rear or side yard only 535-26A(2)(b)	N/A
Accessory structures, height	N/A	15 ft. max. 535-26A(2)(e)	N/A

\* based on average of setbacks on east side of block using a combination of existing surveys and approximate measurements via GIS

To the specific need of this zoning review the proposed addition is **non-compliant**. The front and side setbacks, height, and required open space were found to be compliant. However, the proposed addition would exceed the maximum allowable lot coverage for the principal building by 6.4%.

It is understood that the lender, owner and Title Company may rely on this review in connection with the purchase, financing or construction of improvements upon the real estate.

If you have any questions relating to this review or required next steps to construct the proposed addition, please feel free to contact me to discuss.

Regards,



Justin Burris  
Building Inspector  
[jburris@shorewoodwi.gov](mailto:jburris@shorewoodwi.gov)  
(414) 847-2643



**Design Review Board  
Meeting Minutes  
Thursday, December 18, 2025**

**DRAFT**

**1. Call to order.**

The meeting was called to order at 5:01 p.m.

Members present: Chair Scott Kraehnke, Lybra Loest, Robert Miller, Daryl Melzer (arrived during item 3) and Larry Pachefsky.

Others present: Andy Farrell, Lee Rowley, Marty Radocha, Matthew Heires, Ryan Hundt, Paul Giesen, and Planning Director Bart Griepentrog.

**2. Approval of the December 4, 2025 meeting minutes.**

Mr. Pachefsky motioned to approve the minutes, as drafted; seconded by Mr. Miller. Vote 4-0.

**3. Consideration of the application and plans on file for the construction of an enclosed front entryway at residential property 4154-56 N. Stowell Avenue.**

Andy Ferrell was present to discuss this item. Director Griepentrog noted that a variance would need to be granted by the Board of Appeals to enclose the front porch within the front yard setback, but that design review could take place without that approval.

Chair Kraehnke confirmed that the existing front porch structure would be removed and replaced by the proposed addition with entry steps off to the side. He also confirmed that composite trim and stucco infill were the proposed materials.

Mr. Farrell noted that the second floor would bump out approximately 21 inches to fill in under the existing roofline and that the existing patio doors would be replaced by a single door and a double-hung window. Chair Kraehnke confirmed that the second story would align with the first floor, which was already “bumped out.”

Mr. Farrell stated that the proposed modifications were necessitated by existing leakage on the porch roof.

Chair Kraehnke confirmed that a trim board would be used to transition the new first floor addition to the existing stucco and that matching siding would be used on the second floor. He suggested that matching the existing siding could be difficult but hoped it was possible. He noted that the new siding should be feathered into the existing and expected that any motion would include that requirement.

Chair Kraehnke confirmed that the new upper story windows would be double hung and that trim and sill details would match existing.

Mr. Melzer motioned to approve the plans, as submitted, with the new siding to be feathered into the existing and a traditional sill on the new windows to match the existing; seconded by Mr. Miller. Vote 5-0.

**4. Consideration of the application and plans on file for window modifications (north elevation) at residential property 2535 E. Lake Bluff Blvd.**

Lee Rowley was present to discuss this item. He noted that an existing set of two casement windows on the side elevation would be shifted slightly east and that a third window would be added. He also added that a skylight would be installed, but Director Griepentrog noted that the Board has historically not reviewed those.

Mr. Miller questioned if the full opening would be widened or if one side would be kept consistent. Mr. Rowley stated that it would only be expanded to the east. Chair Kraehnke confirmed that the existing height of the window was not changing. Mr. Rowley noted that he would replicate the existing trim on the expanded window and painting it to match.

Mr. Pachefsky motioned to approve the plans, as submitted; seconded by Mr. Melzer. Vote 5-0.

**5. Consideration of the application and plans on file for window modifications (east and west elevations) at residential property 2020 E. Kenmore Place.**

Marty Radocha was present to discuss this item. He noted that an existing glass block window on the east elevation would be removed and relocated as a double hung window slightly to the north and that another glass block window on the west elevation would be removed, shortened and replaced with an awning window with the same head height. Chair Kraehnke also confirmed that the head height of the new window on the east elevation would match the head height of the existing windows, but that the sill would be slightly higher.

Chair Kraehnke stated that the modifications would be a nice improvement for the house. Mr. Melzer agreed.

Mr. Melzer motioned to approve the plans, as submitted, with the new siding to be feathered into the existing; seconded by Mr. Pachefsky. Vote 5-0.

**6. Consideration of the application and plans on file for a two-story rear addition at residential property 4419 N. Wildwood Avenue.**

Matthew Heires was present to discuss this item. He noted that the plans include removing the existing rear story addition and constructing a two-story addition in its place. He also noted that the second story rear balcony would be removed, that the existing balcony door would be replaced by a matching double hung window and that the roofline would be restored.

Mr. Pachefsky confirmed that the new siding proposed for the addition would be vertical, whereas the existing siding on the house was horizontal. Chair Kraehnke questioned what material would be used for the siding, and Mr. Heires noted that it would be a composite of

crushed limestone with fiberglass and resin. He passed around a sample. He stated that it would be paintable and painted to match the existing siding. Mr. Pachefsky questioned if this was a new product. Mr. Heires noted that the material was better known for decking. Chair Kraehnke confirmed that the product would be installed as shiplap, but vertical.

Mr. Miller confirmed that the new roof would tie into the existing and match materials.

Chair Kraehnke confirmed the scope of the balcony removal and noted that the new condition would look better.

Chair Kraehnke stated that he liked the simplistic nature of the forms on the addition but was not sure he liked the blank walls that were included. Mr. Pachefsky questioned why more windows couldn't be added. Mr. Heires pointed out that the second story was a bathroom and closet, which wouldn't function well with windows, and that there was a skylight included above the shower for natural light.

Chair Kraehnke said he was fine with the addition and liked the articulation provided by the vertical siding. He asked other members to provide their opinions or ask questions.

Mr. Melzer stated he wished that the addition had more windows but acknowledged it was hard to add windows into the proposed floor plans.

Chair Kraehnke questioned how the windows within the addition would be trimmed out. Mr. Heires noted that the trim would match the proposed siding. He also noted that the sill condition would be different than the historic part of the house. Chair Kraehnke noted that the large window on the addition had larger trim than the other two windows. He suggested that they should be similar.

Ms. Loest questioned if anyone thought that the windows within the addition should match those within the existing house. Mr. Pachefsky thought they should. He believed the addition stood out too much from the existing house. He would prefer that a better attempt be made to match the addition to the house but acknowledged that not all members would agree with him. Mr. Heires noted that he was going to replace two windows on the historic part of the home with windows to match. He also pointed out that the existing addition featured casement windows, which did not match the original house. Chair Kraehnke believed the modifications were an improvement over what was currently in place. Mr. Melzer and Ms. Loest agreed, but Ms. Loest worried that the proposed addition with dissimilar features would result in the house looking hodgepodge over time. She thought there could be a better way to finesse the two styles together without sacrificing their intent. Chair Kraehnke believed that was possible but noted that the design before them presented a statement of differences that should be celebrated as such. He appreciated and encouraged everyone to speak their opinion.

Mr. Miller questioned if other elements could be found to help tie the two entities together, such as the addition of a frieze board or trim. Mr. Pachefsky also wondered if some trim or change in siding could be added to minimize the verticality of the addition. He noted the current addition changed siding from horizontal to vertical within the roof pitch. Ms. Loest acknowledged that some relief to the verticality could help. Mr. Miller agreed but noted that the Board does not design; it reviews. He noted that running a band around the addition would interfere with the windows.

Director Griepentrog reminded the Board of their purpose statement as defined in the code and noted that any motion to deny would need to be justified. Chair Kraehnke noted that the standards are qualitative and should be referenced if Board members did not like the design.

Mr. Melzer noted that he did not love the design, but he could not find a way to modify or improve the design given the purpose and layout of the addition. He did not believe that any minor changes would be helpful. Mr. Miller noted that this was a difficult review because it was not common to see such a large deviation in design styles on one home, which was not necessarily a bad thing.

Mr. Heires stated that he was very interested in maintaining the design character of the historic home. He also pointed out that the existing addition was different in character and that the new addition would be of high quality. Mr. Miller agreed.

Chair Kraehnke stated that he believed the design met the code's high-quality, durable construction, and well-designed standards. He noted that the Board seemed split on whether or not it was attractive. He did not think the addition infringed on open space, light or ventilation, or the village's walkability. Lastly, he stated that the design supported a diversity in architectural styles.

Mr. Melzer motioned to approve the plans, as submitted; seconded by Mr. Miller. Vote 3-2 (Mr. Pachefsky and Ms. Loest voting no).

**7. Consideration of the application and plans on file for window modifications (north and west elevations) at residential property 3937 N. Lake Drive.**

Ryan Hundt was present to discuss this item. He noted that the proposed window modifications related to a kitchen renovation. He stated that the house had a large variety of windows but pointed out that this section of the house had a specific type and pattern of window which he was proposing to replicate. He noted that there would be enough brick from the renovation to patch the walls and recreate the window sills associated with the modifications.

Chair Kraehnke confirmed that the existing height and sill height would remain on the north elevation, but that the windows would just be shifted over and on the west side the opening would get wider with the expansion of one window to three. Mr. Hundt noted that the expanded window opening would occupy space presently occupied by an unused milk door.

Mr. Melzer motioned to approve the plans, as submitted; seconded by Mr. Pachefsky. Vote 5-0.

**8. Consideration of the application and plans on file for a one-story addition (front elevation) at residential property 2521 E. Lake Bluff Blvd.**

Paul Giesen was present to discuss this item. Director Griepentrog noted that this item would also require a special exception from the Board of Appeals to exceed the zoning code's 30% principal structure maximum lot coverage standard, but that design review could proceed. Mr. Giesen pointed out that the proposed addition would take place on the front elevation of the recently constructed house. He noted that his client was looking to extend the front gable forward to accommodate an additional first floor bedroom and bathroom suite. Chair Kraehnke noted that the bump out would actually feature a study with the bedroom and bathroom suite behind it.

Chair Kraehnke noted that the new addition would telescope forward from the gable and carry through the same look and feel. Mr. Giesen confirmed that only a portion of the front gable would telescope forward in order to keep the entryway from being too canyon-like. He also noted that all of the original materials were still available, so the addition would seamlessly blend. Mr. Melzer questioned how far the addition would expand forward and was informed that it was just short of 10 feet, which was still beyond the required front setback.

Chair Kraehnke believed the addition added more character to the house.

Mr. Melzer motioned to approve the plans, as submitted; seconded by Ms. Loest. Vote 5-0.

## **9. Future Agenda Items**

No future agenda items were discussed.

## **10. Adjournment.**

Mr. Miller motioned to adjourn the meeting at 6:00 p.m.; seconded by Mr. Pachefsky. Vote 5-0.

Recorded by,



Bart Griepentrog, AICP  
Planning and Development Director



# BOARD OF APPEALS APPLICATION

Planning & Development Department  
3930 N. Murray Avenue, Shorewood, WI 53211  
Phone (414) 847-2640

Village of Shorewood  
12/22/2025 12:02:21 PM  
Ref 00050348  
Receipt 242292  
Amount \$250.00

[pad@shorewoodwi.gov](mailto:pad@shorewoodwi.gov)  
[clerks@shorewoodwi.gov](mailto:clerks@shorewoodwi.gov)

50348

The Board of Appeals has the authority to grant exceptions, variances or review appeals regarding Village official code interpretations. A *Variance* allows dimensional variations for items within the zoning code. Use variances are prohibited. *Special Exceptions* are granted for allowed uses when certain conditions must be met.

OFFICE USE ONLY	
PERMIT #	25-2012 FEE: \$250.00
DATE RECEIVED:	12.22.25
SCHEDULED MEETING:	1.14.26
TAX KEY #	

Property Address	
<b>Owner's Information</b>	<b>Applicant Information</b> <b>Contractor?</b> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Name <u>Suzanne + Richard Powers</u>	Name <u>SAME AS OWNER</u>
Address <u>2521 E. Lake Bluff Blvd</u>	Address
City/State/Zip <u>Shorewood, WI</u>	City/State/Zip
Phone # <u>414 870-7175</u> Alt #	Phone #                      Alt #
Email <u>suzanne@powersrealty.com</u>	Email
Check if prefer Board of Appeals Meeting Agenda Emailed:	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> APPLICANT

**I/We are requesting a:** (refer to guidelines for explanation):

<input type="checkbox"/> variance	<input checked="" type="checkbox"/> special exception	<input type="checkbox"/> appeal to interpretation to allow
-----------------------------------	-------------------------------------------------------	------------------------------------------------------------

Describe in detail the reason you are applying for a Board of Appeals application:

SEE ATTACHMENT No. 1

**MATERIALS REQUIRED WHEN APPEAL IS PROPERTY-BASED (ONE COLOR COPY OF EACH) :**

- Picture – Of front of property taken from street curb
- Picture(s) – Of property area in question
- Property survey marked with appropriate dimensions

## Variance Granting Criteria

1. Describe how the hardship is due to physical limitations (lot shape, lot size, grade, drainage, neighboring uses, access, etc.) of the property rather than the circumstances of the appellant (economic, family, personal, and physical [other than certified disability] hardships are not considered, nor are the nature, condition or configuration of structures or improvements on the property):

N/A

2. Describe how unnecessary hardship exists because compliance is unreasonably burdensome. The hardship must be unique to the property and cannot be self-created.

N/A

3. Describe how you think the granting of this variance would not harm public interest such as public safety, the environment, property values, etc.:

N/A

**OFFICE USE ONLY – Findings of the Board of Appeals after consideration of the criteria**

Reason for Application:

Applicant's Appeal Ruling

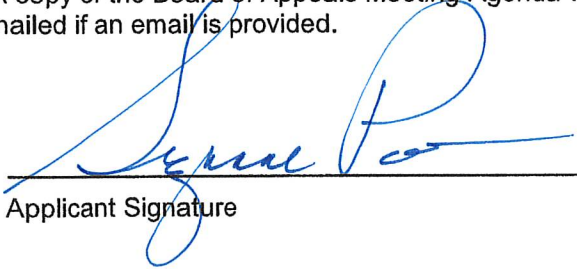
APPROVED

NOT APPROVED

Reason for Ruling:

\* Please verify with the Planning and Development Department prior to placement on the Board of Appeals Agenda whether site plans or other documentation are required.

\* A copy of the Board of Appeals Meeting Agenda will be mailed to the applicant/contractor unless otherwise indicated or emailed if an email is provided.



---

Applicant Signature

## ATTACHMENT No.1

DATE: 12/19/2025

SUBJECT PROPERTY:

2521 E Lake Bluff Blvd  
Shorewood, Wisconsin

APPLICATION FOR A SPECIAL EXCEPTION TO THE ZONING CODE REQUIREMENTS

PROPOSED PROJECT DETAILS:

The proposed project is being driven by the need to build a ground-floor bedroom suite that provides accommodations a family member facing multiple health issues. Building the bedroom suite requires combining a modest expansion of the existing house footprint with repurposing and reconfiguring existing rooms and spaces in the house.

**1. Describe in detail the reason you are applying for a board of appeals application:**

This application for a Special Exception is being filed because a relatively recent change in how certain definitions in Section 535-6 of the Villages' Zoning Ordinances are interpreted rendered the existing house and attached garage a nonconforming structure after its construction in 2021. As such the floor area of the house cannot be expanded without Board of Appeals approval. Under the previous interpretation of the ordinances, the project could proceed without BOA review.

**2. Subject to the provisions of applicable state law, the Board of Appeals, upon application as required herein, may grant a special exception to the provisions of Subsection A hereof after considering:**

**(a) The effect of granting the exception will have on the appearance and character of applicant's property, adjacent properties, and neighboring properties.**

It is the applicants' position that approval of the requested exception will have no negative effect on the appearance of either their property, nor the adjacent and neighboring properties, for the following reasons:

- a. The relatively small scale of the proposed addition, which increases the overall footprint of the house and garage by roughly 3%, will minimally impact the existing home's scale and massing and exterior appearance.
- b. Because the existing home is relatively new and all the materials used in its construction are still available, the proposed addition's exterior detailing will

blend seamlessly with the existing house and garage such that once the landscaping fills back in the addition will look like it is original to the home.

- c. Because of where the proposed addition is to be located, it will not be in close proximity to any adjacent or neighboring property's structures, nor will it impede any adjacent or neighboring property's views, sightlines, or daylight access.

***(b) The effect of granting the exception will have on the value of applicant's property, adjacent properties, and neighboring properties.***

It is the applicants' position that approval of the requested exception will have no negative effect on the value of the applicant's property. The applicants believe that the proposed project will in fact increase their home's value by providing the flexibility needed to respond to a family's ever-evolving circumstances. Such circumstances might include accommodating a multi-generational household, allowing for aging in place, and providing space for a live-in caretaker should the need arise.

For reasons stated above in subparagraph (a) the applicants feel that approval of the requested exception will have no negative effect on the value of adjacent and neighboring properties.

***(c) Whether granting of the exception will serve the public interest in improving and preserving the value of the property.***

It is the applicants' position that approval of the requested exception will serve the public interest in improving and preserving the value of the property not only for the specific reasons cited in subparagraphs (a) and (b), but also on a larger scale because of the positive impact that having a greater variety of housing types in the Village has on the whole community.

2521 E LAKE BLUFF BLVD

FRONT/NORTH VIEW



2521 E LAKE BLUFF BLVD

REAR/SOUTH VIEW



2521 E LAKE BLUFF BLVD

FRONT/NORTHEAST VIEW



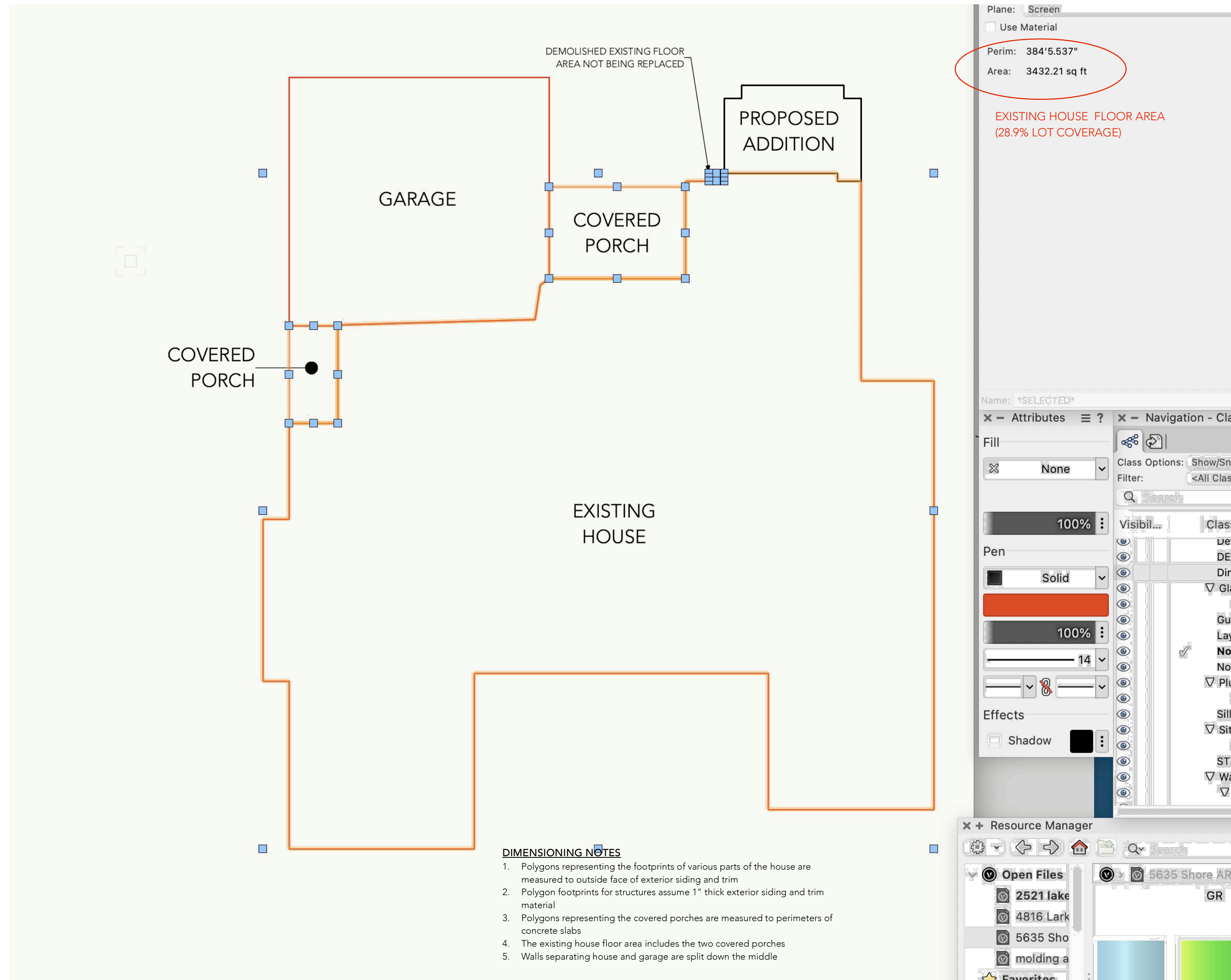
2521 E LAKE BLUFF BLVD  
FRONT/NORTHWEST VIEW



# LOT COVERAGE ANALYSIS

2521 E LAKE BLUFF BLVD

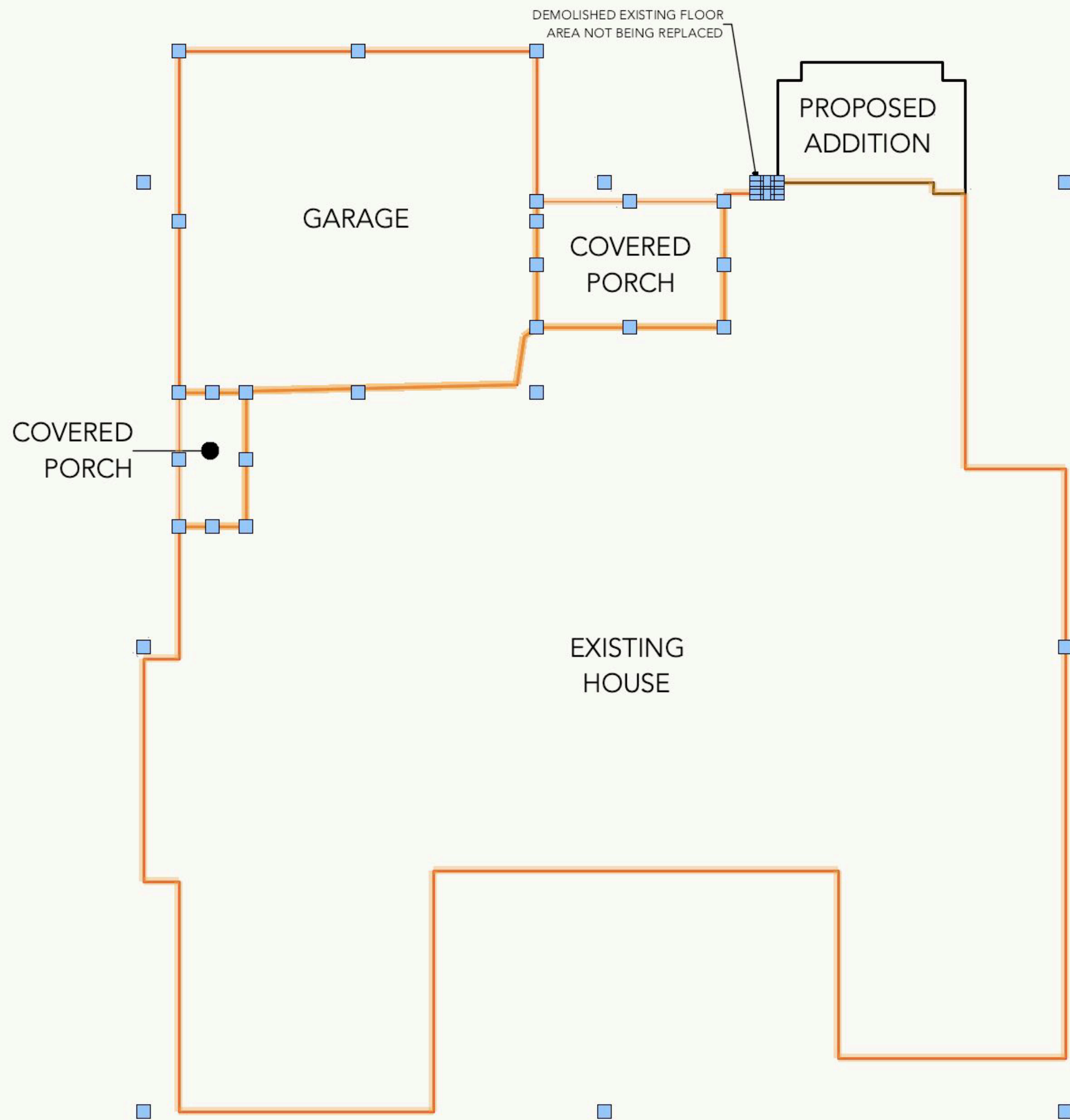
12/12/25



# EXISTING HOUSE FLOOR AREA

2521 E LAKE BLUFF BLVD





- DIMENSIONING NOTES**
1. Polygons representing the footprints of various parts of the house are measured to outside face of exterior siding and trim
  2. Polygon footprints for structures assume 1" thick exterior siding and trim material
  3. Polygons representing the covered porches are measured to perimeters of concrete slabs
  4. The existing house floor area includes the two covered porches
  5. Walls separating house and garage are split down the middle

Plane: Screen

Use Material

Perim: 487'3.075"

Area: 4099.361 sq ft

EXISTING HOUSE AND GARAGE FLOOR AREA  
(34.5% LOT COVERAGE)

Name: \*SELECTED\*

Attributes Navigation - C

Fill: None

100%

Pen: Solid

100%

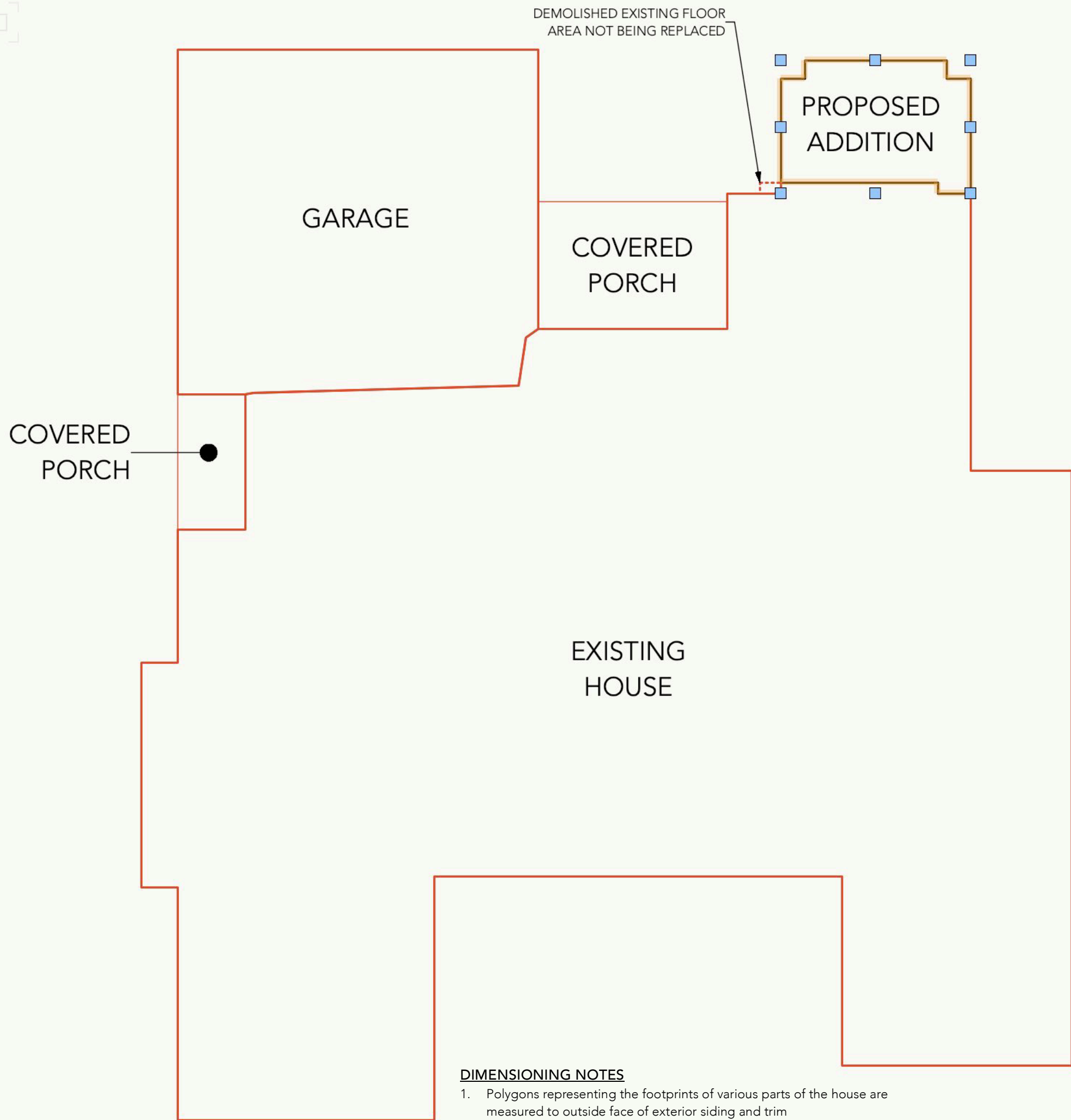
14

Effects: Shadow

Resource Manager

# EXISTING GARAGE FLOOR AREA

2521 E LAKE BLUFF BLVD



**DIMENSIONING NOTES**

1. Polygons representing the footprints of various parts of the house are measured to outside face of exterior siding and trim
2. Polygon footprints for structures assume 1" thick exterior siding and trim material
3. Polygons representing the covered porches are measured to perimeters of concrete slabs
4. The existing house floor area includes the two covered porches
5. Walls separating house and garage are split down the middle

ΔX: 14'0"

ΔY: 9'10"

X: 846'0"

Y: -258'10"

Move: Entire Object

Vertex: < >

X: 839'0"

Y: -267'10"

Add Vertex

Delete Vertex

Reverse Direction

✓ Closed

Show Direction

Vertices: 10

Perim: 47'8"

Area: 123.347 sq ft

PROPOSED ADDITION FLOOR AREA

Name:

Attributes

Navigation - Classes

Class Options: Show/Snap/Modify Others

Filter: <All Classes>

Visibility	Class Name
☑	Derpoints
☑	DEMO
☑	Dimension
☑	Glazing
☑	Clear
☑	Guides
☑	Layer 1
☑	None
☑	NonPlot
☑	Plumbing
☑	Fixtures
☑	Sills
☑	Site
☑	Cars
☑	STEEL
☑	Wall
☑	Ext

Resource Manager

Open Files

2521 Lake

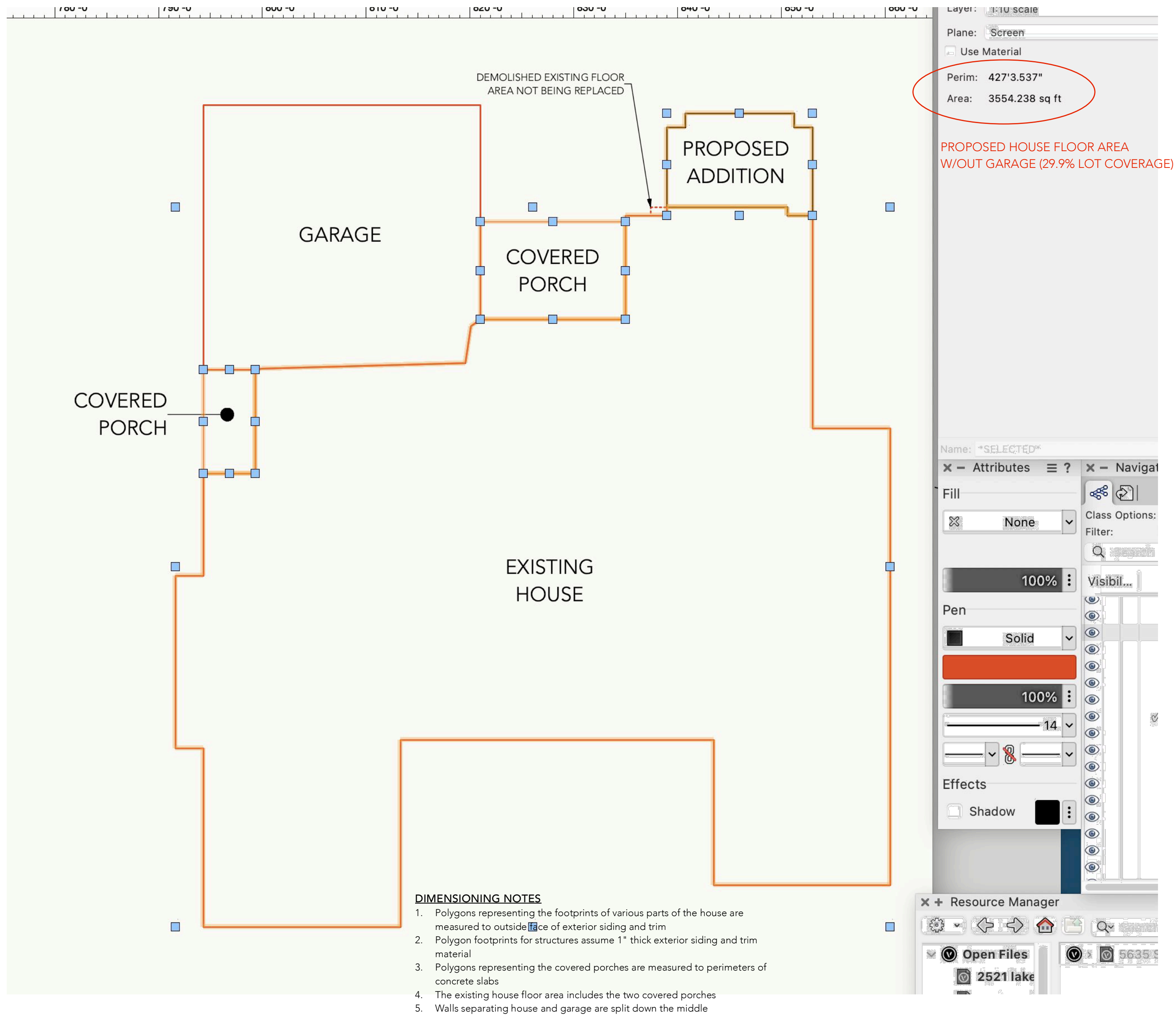
4816 Lark

5635 Shore ARC Pre

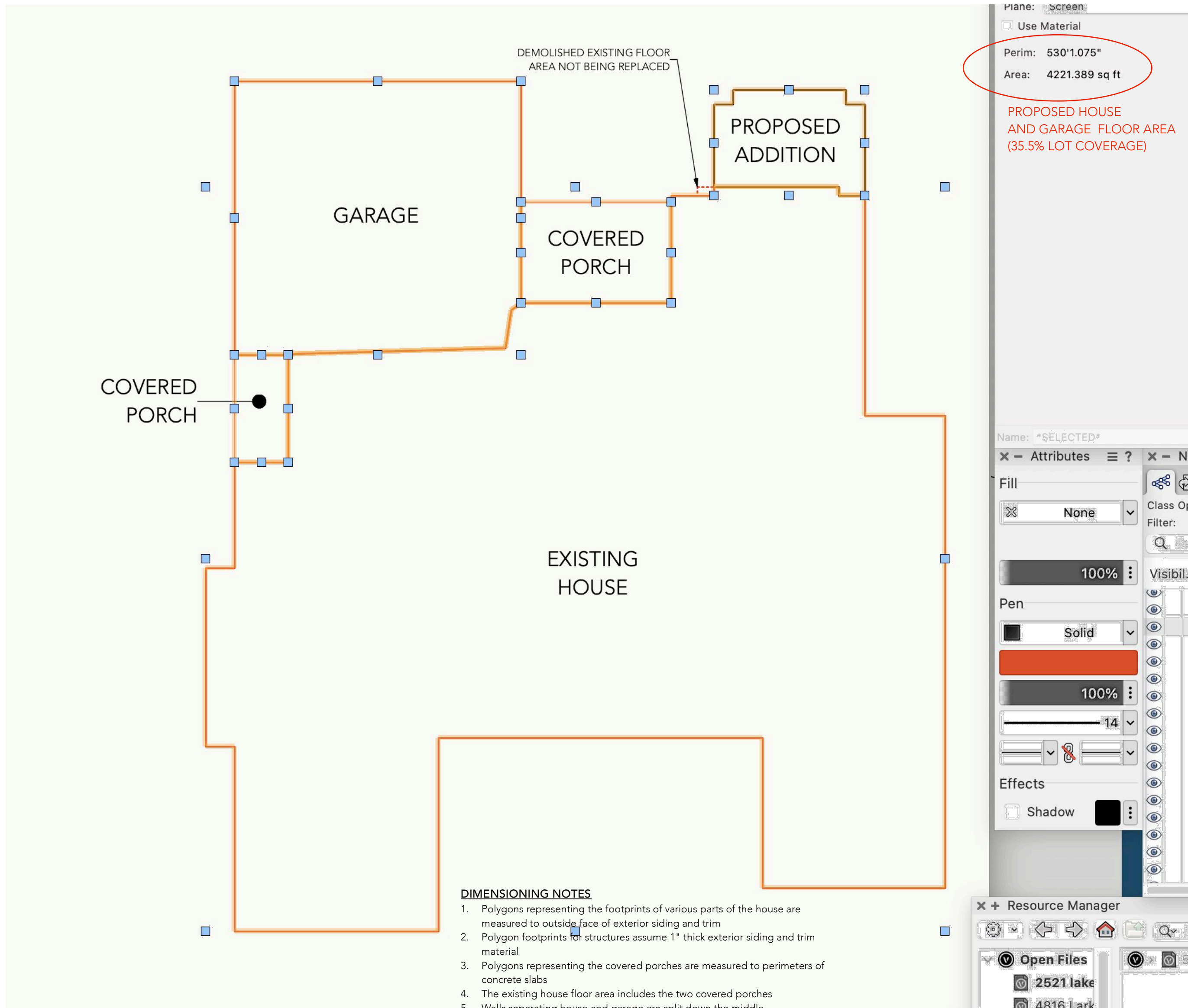
GR

Name: Foliage

PROPOSED ADDITION FLOOR AREA  
2521 E LAKE BLUFF BLVD



PROPOSED HOUSE WITH ADDITION FLOOR AREA  
2521 E LAKE BLUFF BLVD



# PROPOSED HOUSE AND GARAGE FLOOR AREA

2521 E LAKE BLUFF BLVD

## Article VII Legal Nonconformity

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### § 535-33 Continuation of existing lawful use.

The existing lawful use of a structure or premises at the time of the enactment of this chapter or any amendment applicable thereto, which use is not in conformity with the provisions established by this chapter, may be continued in the manner and for the purposes then existent subject to the conditions hereinafter stated.

### § 535-34 Classification and regulation.

For the purpose of administration, such nonconformity shall be classified and regulated as follows:

#### A. Nonconforming structure.

- (1) Expansion or enlargement. No such structure shall be expanded or enlarged if such expansion or enlargement will add to or increase the degree of nonconformity, unless such structure is made to conform to the regulations of the district in which it is located.
- (2) Restoration of significantly damaged structures. A nonconforming structure damaged or destroyed by violent wind, vandalism, fire, flood, ice, snow, mold or infestation shall be restored in accordance with the provisions of § 62.23(7)(hc), Wis. Stats.
- (3) Facades. In the commercial districts, if more than 50% of the area of a nonconforming facade is replaced, the entire facade must conform to the facade regulations of an allowed building type in the district per § 535-22 and with the building design regulations in § 535-23, except as defined in Subsection A(2) of this section.
- (4) Roofs. In the commercial districts, if more than 50% of a nonconforming roof is replaced, the replaced roof must conform to a roof type of an allowed building type in the district per § 535-22 and with the roof type design regulations in § 535-23, except as defined in Subsection A(2) of this section. Resurfacing and repairing of a roof does not count as a roof replacement.

#### B. Nonconforming use of structure.

- (1) No such use shall be expanded or enlarged except in conformity with the use regulations of the district in which the structure is located.
- (2) Upon petition to and approval of the Plan Commission, such use may be changed to another use, provided that the Plan Commission determines that the new use would result in greater or no less degree of conformity and provided further that such new use shall thereafter determine the degree of legal nonconformity.
- (3) When any such use is discontinued for a period of 12 consecutive months, any further use of the building shall conform to the regulations of the district in which it is located.
- (4) Where the building in which such use is carried on is damaged to the extent of more than 50% of its current assessed value as equalized, it shall not be restored for use except in conformity with the regulations of the district in which it is located.
- (5) Structural repairs and alterations to a building housing such use shall not, as long as such use continues, exceed 50% of the assessed value as equalized of the building at the time the use became nonconforming.

#### C. Nonconforming vacant lots.

- (1) No such vacant lot shall be conveyed to a new owner except in conformity with the provisions of § 535-9 of this chapter.
- (2) No building permit shall be issued except in conformity with the provisions of § 535-9 of this chapter.
- (3) The size and shape of such lot shall not be altered in any way so as to increase the degree of nonconformity unless approved by the Plan Commission.

**D. Nonconforming use of land.**

- (1) No such use shall be expanded or enlarged except in conformity with the use regulations of the district in which the land is located.
- (2) Upon petition to and approval of the Plan Commission, such use may be changed to another use, provided that the Plan Commission determines that the new use would result in greater or no less degree of conformity and provided further that such new use shall thereafter determine the degree of legal nonconformity.
- (3) Where any such use is discontinued for a period of 12 consecutive months, any future use of the land shall conform to the regulations of the district in which it is located.

**E. Special exceptions.**

- (1) Subject to the provisions of applicable state law, the Board of Appeals, upon application as required herein, may grant a special exception to the provisions of Subsection A hereof after considering:
  - (a) The effect the granting of the exception will have on the appearance and character of applicant's property, adjacent properties and neighboring properties.
  - (b) The effect the granting of the exception will have on the value of the applicant's property, adjacent properties and neighboring properties.
  - (c) Whether the granting of the exception will serve the public interest in improving and preserving the value of the property.
  - (d) Such other matters as the Board of Appeals deems relevant and material.
- (2) Application for a special exception permit may be obtained from the Planning and Zoning Administrator upon the payment of a fee as provided by the Village Fee Schedule which shall not be refundable.
- (3) The matter shall be set for hearing before the Board of Appeals as soon after the application has been filed as is practicable. Within a reasonable time after said hearing, the Board of Appeals shall either approve or disapprove the application for special exception hereunder, in accordance with the provisions of this Subsection E.

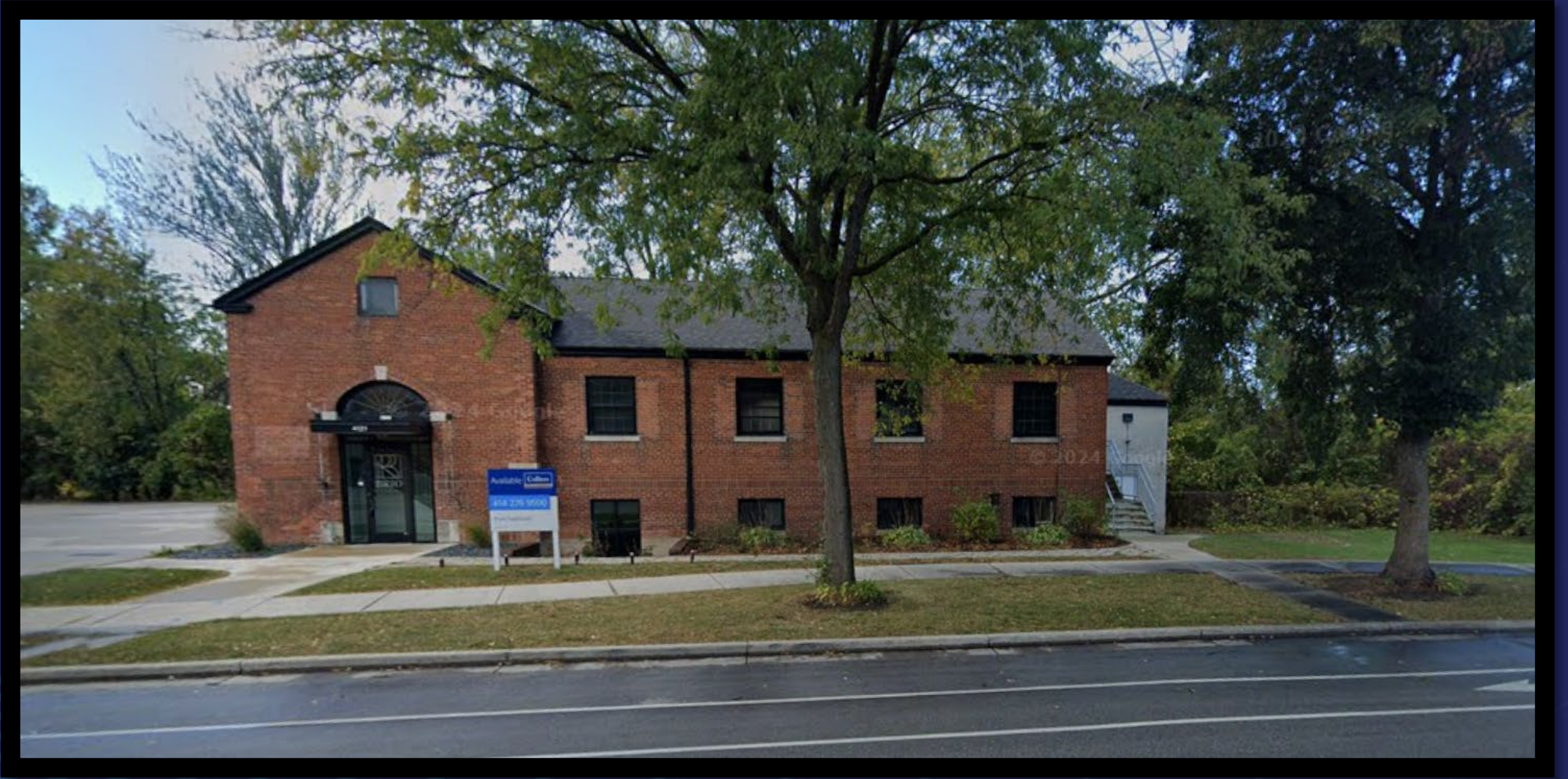
§ 535-35 (Reserved)

§ 535-36 Removal of hazards.

Where, upon complaint of the Zoning Administrator, Building Inspector or Chief of Police or Chief of Fire, any nonconforming structure or use is found by the Plan Commission as a matter of fact to be a hazard to the public health, safety or general welfare, such structure may be ordered removed or such use may be ordered discontinued within such time as the Plan Commission may deem reasonable. Upon failure to carry out such order, the Village may take such steps as are necessary to remove such structure or discontinue such use and assess the cost thereof against the property owner.

**4121 Wilson Drive**





## North Shore American Legion Post in Shorewood is for sale

Jeff Rumage Milwaukee Journal Sentinel

Updated Jan. 17, 2019, 1:05 p.m. CT



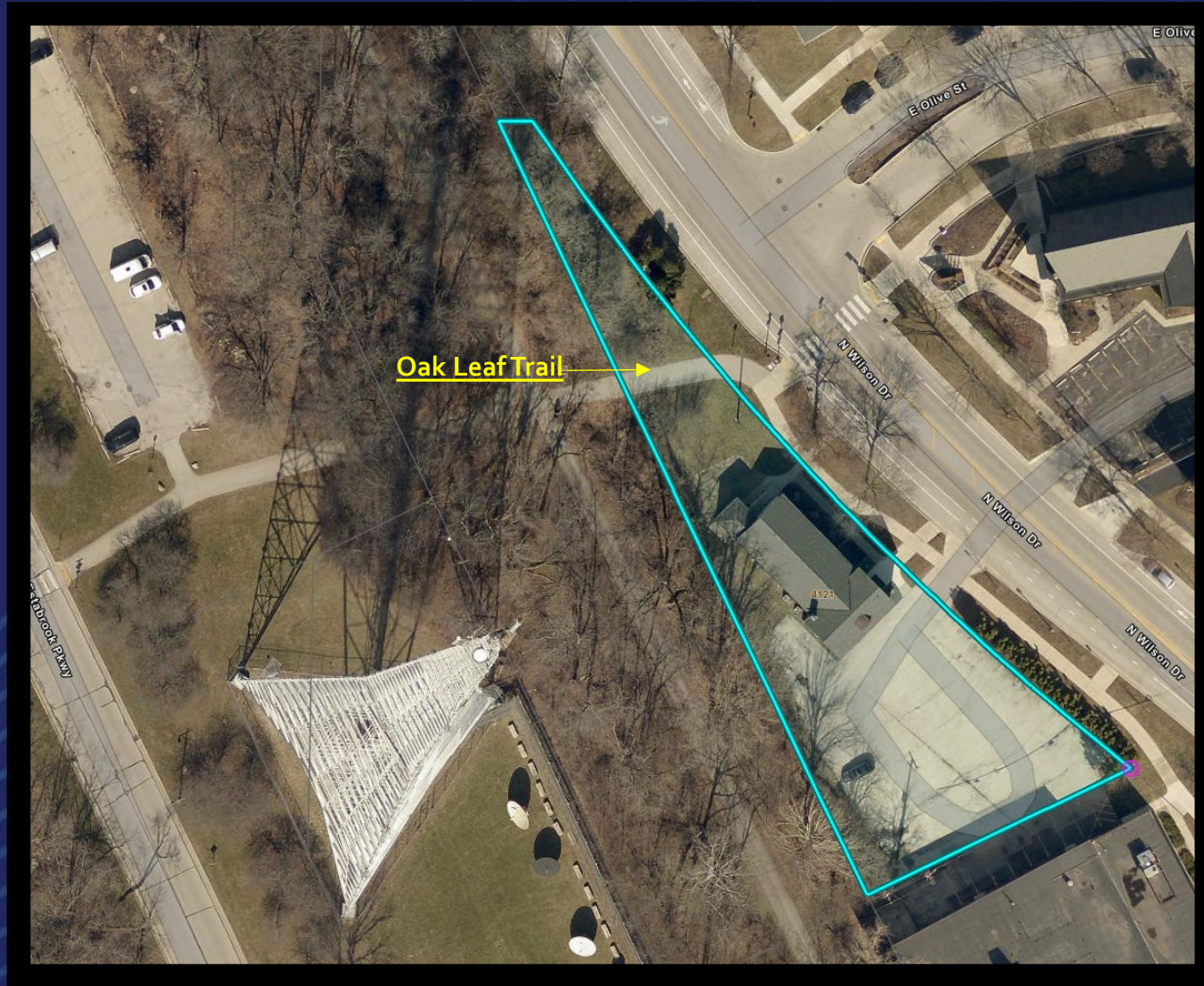
North Shore Legion Post 331, 4121 N. Wilson Drive, Shorewood, has been listed for sale. *Jeff Rumage/Now News Group*

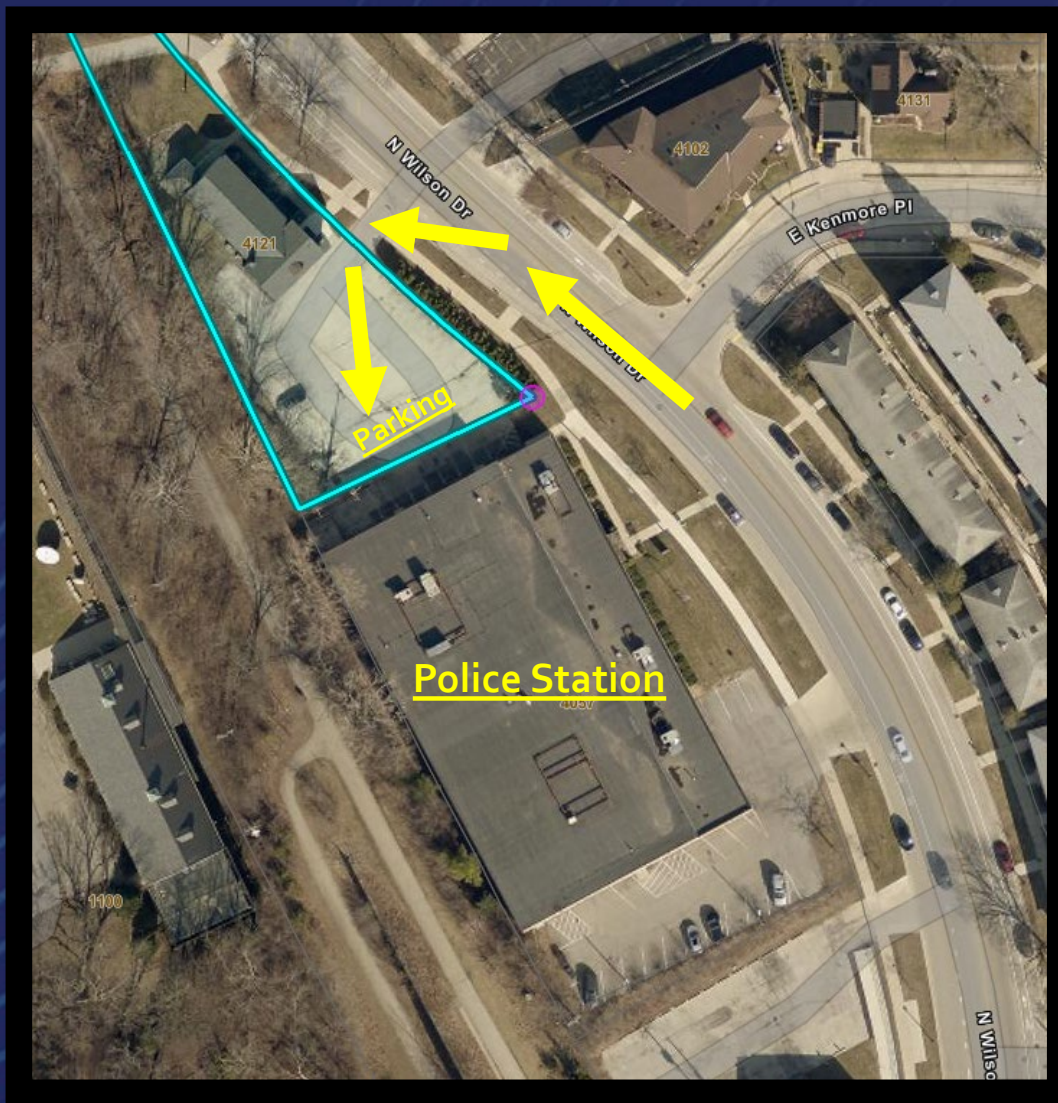
North Shore American Legion Post 331 has put its building up for sale.

The building at 4121 N. Wilson Drive was placed on the market on Thursday, Jan. 10, with an asking price of \$625,000. Realtor George Gaspar said he received an offer on Wednesday, Jan. 16, and he expects to receive more offers in the coming days.

Post 331 has occupied the building since it was built in 1940.

Built as the North Shore American Legion Post in **1940** and used as such until **2019**.





Municipal vehicles access/park on the Property, as depicted.

# Physical Restraints of the Property

---

- Small, narrow site layout, just .55 acres total.
- Small, tri-level building, just 4400 SF of total space:
  - 1966 SF lower level,
  - 1966 SF 1<sup>st</sup> floor,
  - 472 SF upper level

Police station (with 24/7 traffic and sirens) as neighbor.  
High-tower from which ice falls.

# Possible Uses

---

- North Shore American Legion Post developed the site in 1940 and used it for 79 years through 2019.
- Residential or commercial redevelopment infeasible.
- Re-using the site consistent with its original purpose remains its highest and best use.
- The Masons desire to invest in improvements and re-activate the site which has remained dormant for 5-6 years.

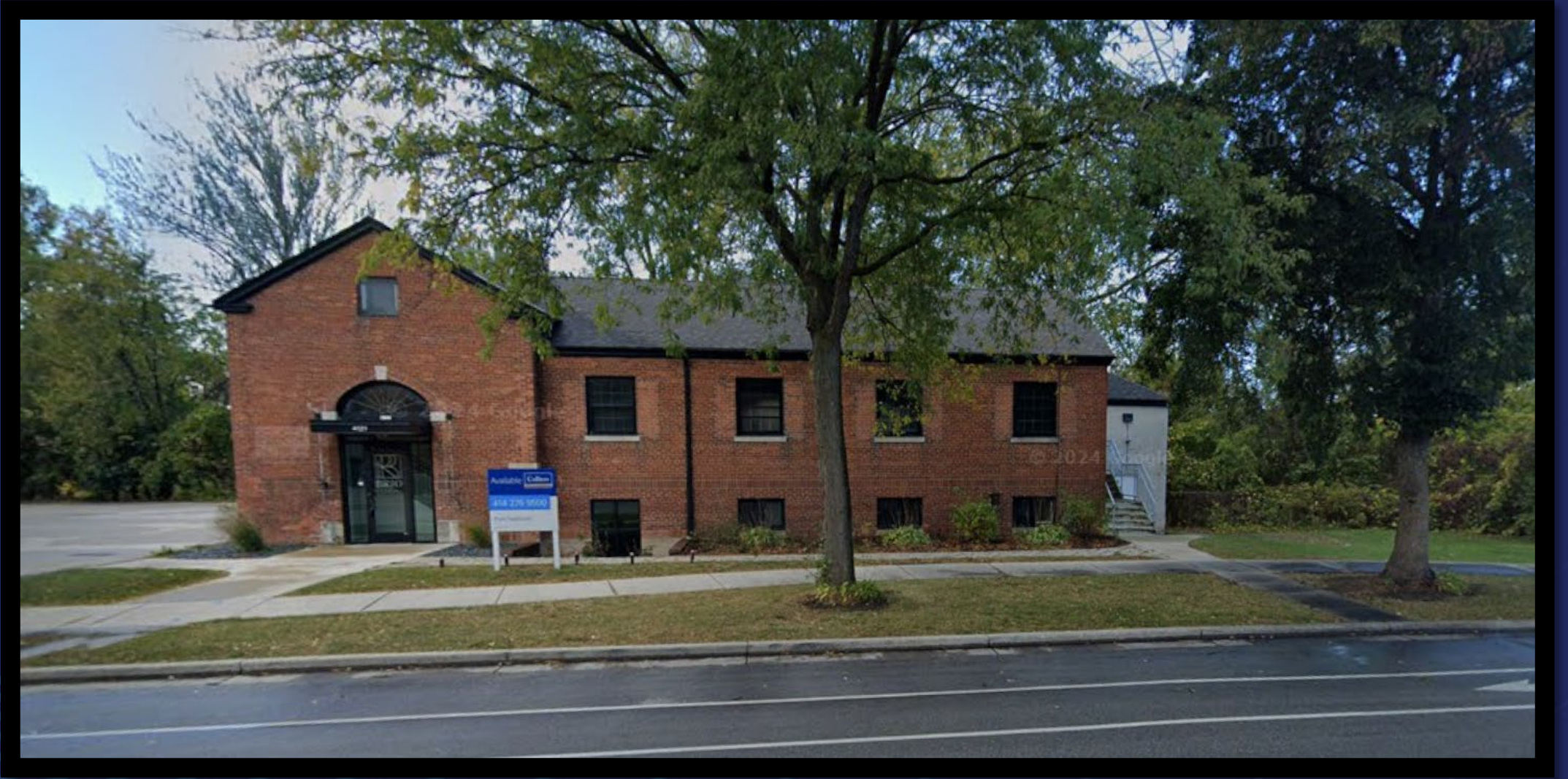
Use Group Use Category	Commercial and Mixed-Use		
	MX1 MX2	CX	GX1 GX2 GX3
<b>Commercial (§ 535-25D)</b>			
Commercial kitchens	●	●	●
Consumer service	●	●	●
Child-care center, 8 or fewer individuals	⊖	●	●
Child-care center, 9 or more individuals	⊖	●	●
Eating and drinking place	●	●	⊖
Entertainment, indoor	⊖	●	●
Event venue	⊖	●	●
Funeral and mortuary service	—	—	●
Lodging	○	●	●
Manufacturing and production, artisan	●	●	⊖
Medical-dental clinic-office	⊖	⊖	●
Office	●*	⊖	●
Personal credit establishment	○	○	—
Retail sales, general	●	●	⊖
Retail sales, donated goods	○	○	—
Vehicle service	—	○	—
<b>Civic and Institutional (§ 535-25E)</b>			
College	⊖	⊖	⊖
Community assembly	⊖	⊖	⊖
Cultural facility	●	●	●
Hospital	—	—	●
Parks and open space	—	—	—
Safety service	●	●	●

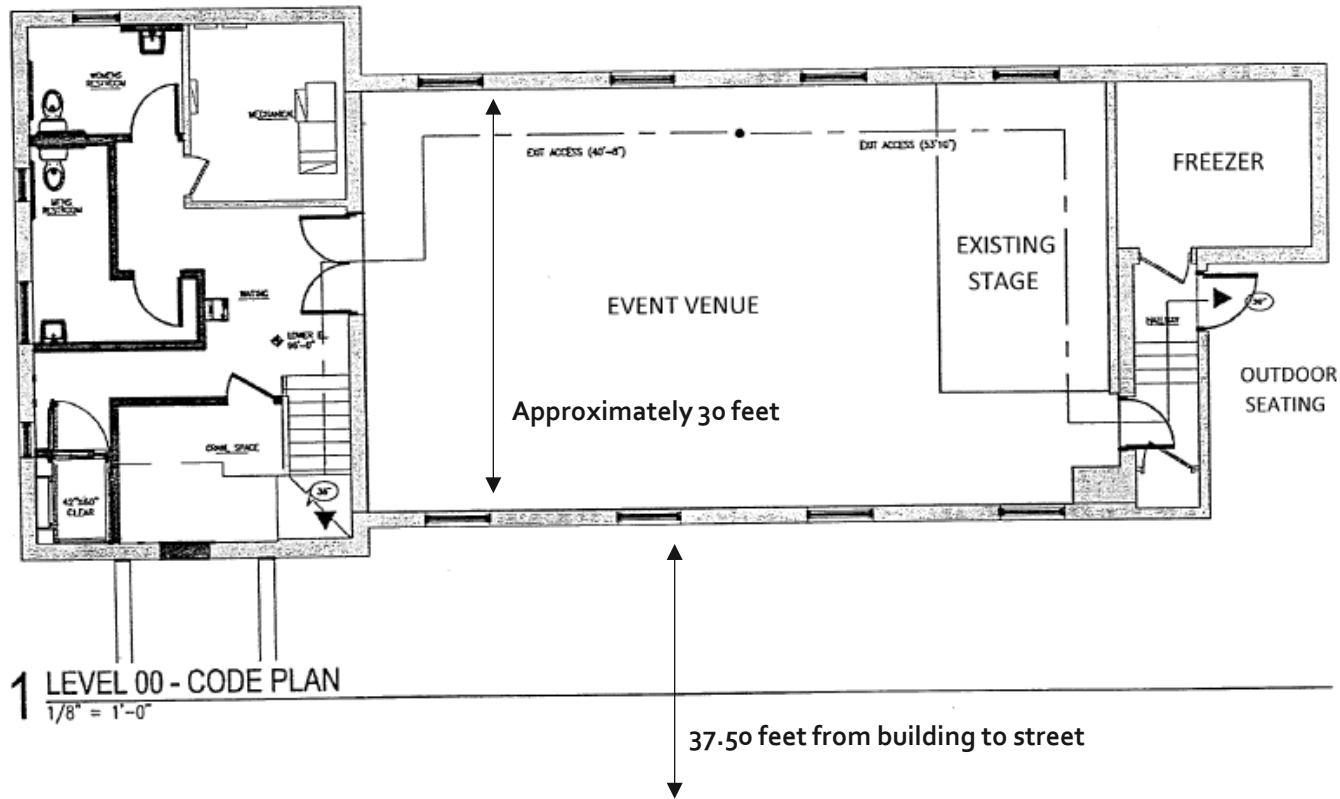
Key:	
●	= Permitted as-of-right
⊖	= Permitted as-of-right, subject to location restrictions
⊖	= Permitted as-of-right [floor area not to exceed 25% of building footprint or in the rear of the ground story per § 535-25A(2)]
○	= Conditional use permit approval required
—	= Prohibited
*	Additional restrictions

Permitted as-of-right, subject to location restrictions. Uses identified with a "⊖" are permitted as-of-right in the subject zone but only when located above the ground floor in upper stories of the building or in the rear of the ground story, a minimum of 20 feet from the primary facade. The first 20 feet behind the primary facade must contain occupied building space of an allowed use. See § 535-6A for definition of "occupied building space."

## Village classified our use as a “Community Assembly” which subjects the Masons to new locational restrictions.

- **Community assembly.** The community assembly use category includes facilities for hosting public or private meetings including senior centers, community centers, municipal-owned performing arts centers, and religious institutions. It also includes fraternal organizations and similar not-for-profit clubs restricted to use by dues paying members and their guests. Village Code sec. 535-25E(2).
- **Community assembly is permitted as-of-right** *but only* when located above the ground floor in upper stories of the building or in the rear of the ground story, a minimum of 20 feet from the primary façade. Village Code sec. 535-25A(2)(c).





- Includes indoor and outdoor seating
- Includes stage

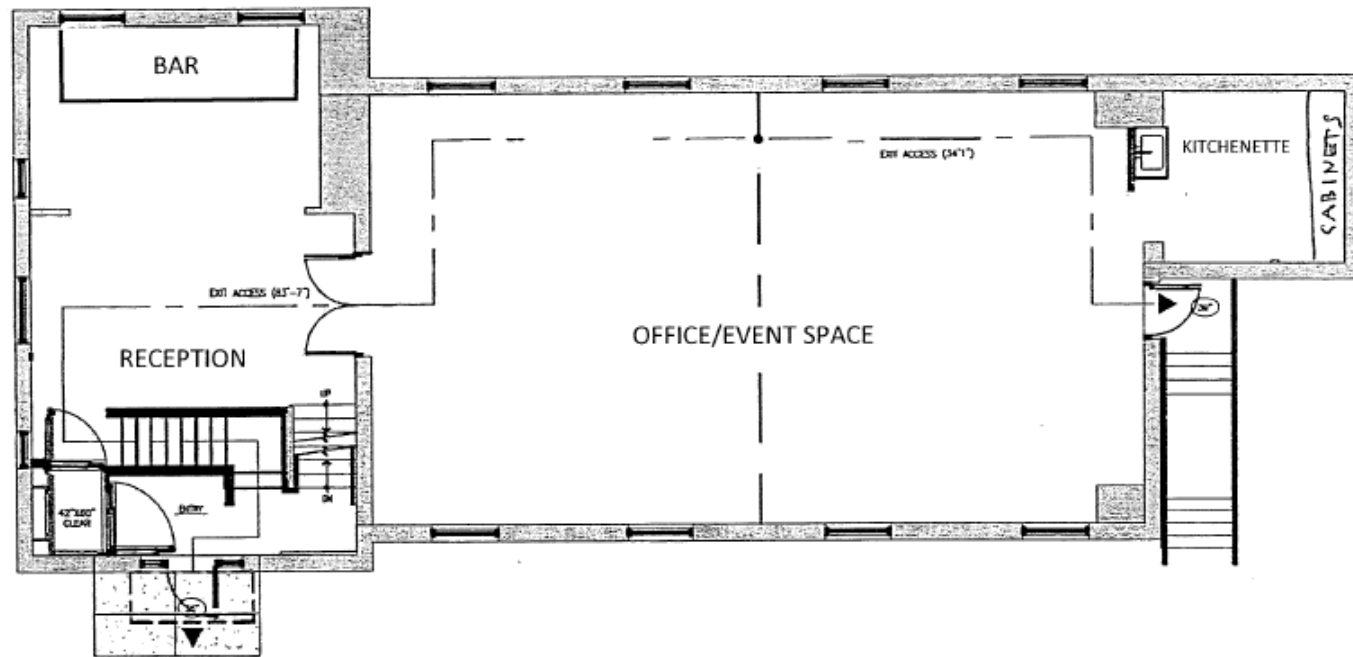
If those additional locational restrictions are applied, this building cannot be re-used for the same uses for which it was built and used by the American Legion for 79 years.

- As a tri-level, it is not clear what is ground floor, basement, first floor or upper story.
- Entire depth of the building is only 30 feet, so a minimum 20-foot setback from the front façade leaves less than 10 feet of building for Mason use.
- Most importantly, “community assembly” definition is not the best description of the Masons’ proposed uses:
  - Masons will not host public meetings.
  - They will not establish a senior center, community center, performing arts center or church.
  - They will not restrict use to dues paying members and their guests.

# Our use should be classified as “office” and “event venue” under Village Code sec. 535-25D(6), (11).

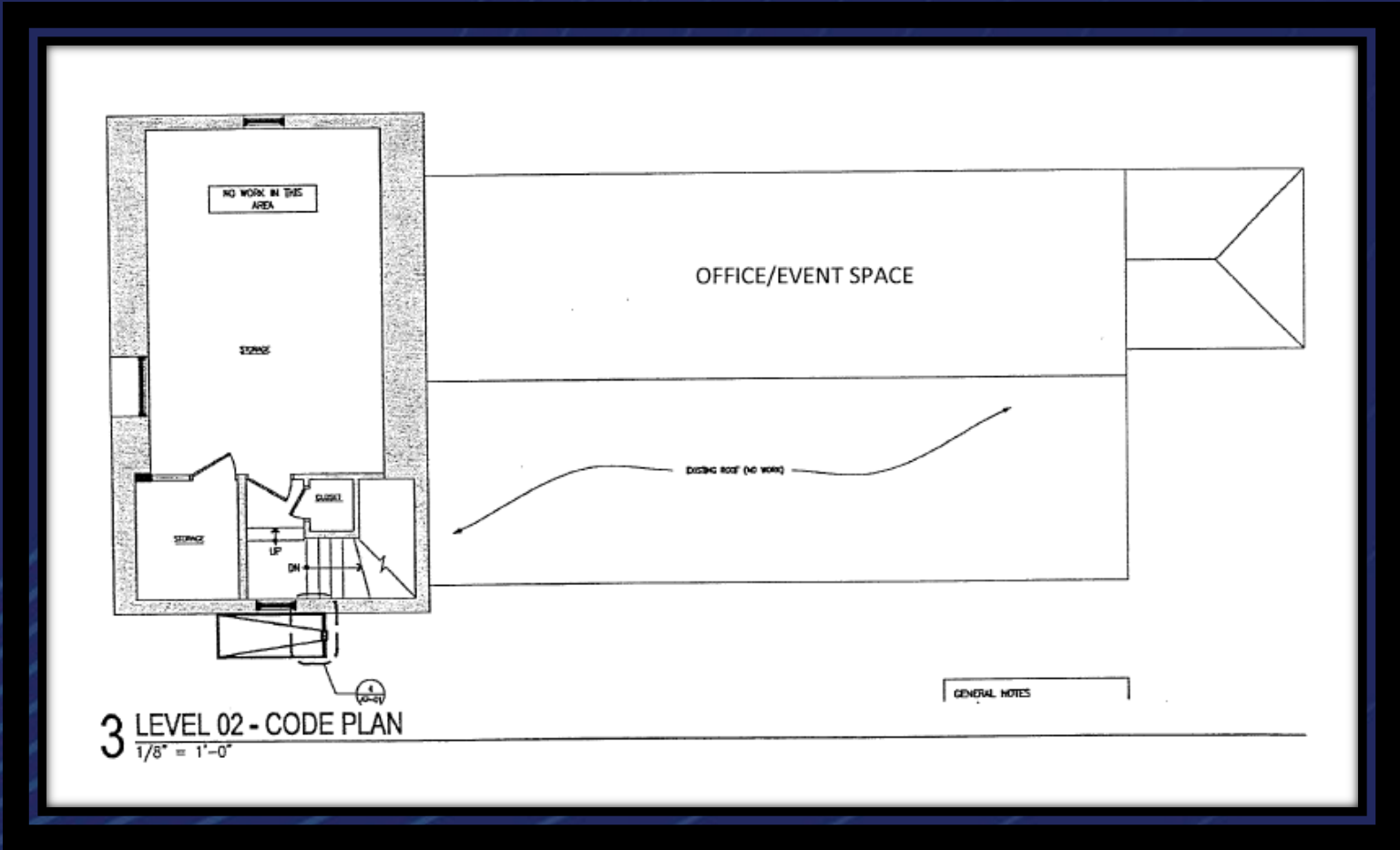
- **Event venue.** An event venue is a multipurpose venue facility hosting special events, such as graduations, weddings, anniversaries, holiday gatherings, trade shows, corporate functions or parties, concert settings, and general get-togethers. An event venue typically includes indoor and/or outdoor seating and a stage or event area, but not a full-service kitchen.
- **Office.** The office use category includes workplaces of private companies, organizations (for-profit and nonprofit), and public agencies providing professional, executive, management, medical, administrative, or design services . . .





2 LEVEL 01 - CODE PLAN  
1/8" = 1'-0"

- Includes office space
- Includes kitchenette but not full-service kitchen



**3** LEVEL 02 - CODE PLAN  
1/8" = 1'-0"

## Proposed uses meet plain language of the “Event venue” and “Office” definitions:

- Proposed **office** use is “workplace...providing professional, executive, management, medical, administrative, or design services...”
  - Office, workplace and meeting space for Masons and other organizations include Children’s Dyslexia Center and, ironically, the same American Legion Post which developed the site in 1940.
- Proposed **event venue** use is “Multipurpose venue facility hosting special events” such as parties and general get-togethers.
  - Event venue will host meetings, get togethers and special events for Masons, other organizations and be available for general public.
- The site is physically configured just for such uses and includes indoor and outdoor seating, a stage and event areas, a kitchenette but not a full-service kitchen and office/workplaces.

# Code interpretation:

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- Community assembly, event venue and office uses all are **permitted** under applicable zoning.
  - Masons proposed uses are specifically allowed by the Village code.
  - We are not seeking a variance or other deviation from what the code allows.
  - The Masons seek to re-use the site in the same way that the American Legion Post used it for 79 years without additional locational restrictions.
- If the Village interprets its code to impose additional locational restrictions on the Masons which did not apply to the American Legion Post for 79 years and which do not apply to other applicants undertaking the same types of uses, the Village is not regulating “use” but the “user.”

## IT IS FUNDAMENTAL THAT ZONING MUST REGULATE **USES**, NOT **USERS**:

- “Despite widespread zoning practice to the contrary, zoning restrictions, conditions, or decisions which limit the use of land based on the identity or status of the users of the land generally will be held invalid . . . on either due process or equal protection grounds . . . Such restrictions also may be held ultra vires as beyond the scope of authority delegated by a zoning enabling act . . . state courts have held that a zoning enabling act authorizes a municipality to regulate the use of land but not the status or identity of land users. **Zoning deals with land use, not the owner, operator or occupant of the land.**” 3 Sara C. Bronin & Dwight H. Merriam, Rathkopf's The Law of Zoning and Planning § 60:19 (4th ed.).

- Pursuant to Code sec. 535-25B(4), in making a zoning classification determination, the Zoning Administrator must consider:
  - The types of activities that will occur in conjunction with the use;
  - The types of equipment and processes to be used;
  - The existence, number and frequency of residents, customers or employees;
  - Parking demands associated with the use; and
  - Other factors deemed relevant to a use determination.

- Applying the Village code to regulate **who** is using the site, as opposed to the specific uses, would violate the due process and equal protection rights of the Masons.
- This could be particularly concerning as the Village risks violating the Religious Land Use and Institutionalized Persons Act of 2000. RLUIPA prohibits the Village from imposing or implementing its zoning regulations in a manner that would treat a religious assembly or institution on less than equal terms than a nonreligious assembly or institution. *See* 42 U.S.C. sec. 2000cc(b).

**The Masons' proposed uses have to be classified as "event venue" and "office" to avoid due process, equal protection and RLUIPA violations.**

## Department of Justice's FAQ #12

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### **What does RLUIPA require of local governments with regard to treating religious assemblies and institutions as favorably as nonreligious assemblies and institutions?**

RLUIPA contains a section known as the “equal terms” provision. It provides that “[n]o government shall impose or implement a land use regulation in a manner that treats a religious assembly or institution on less than equal terms with a nonreligious assembly or institution.

Source: Statement of the Department of Justice on the Land Use Provisions of RLUIPA.

**The Masons' proposed uses have to be classified as "event venue" and "office" (free from the new locational restrictions that were not applied to the American Legion Post) to avoid due process, equal protection and RLUIPA violations.**

Freemasonry is fundamentally a self-improvement, volunteer association that teaches moral, intellectual, and spiritual lessons through three initiation ceremonies.

Freemasonry's three degrees are modeled after a craftsman's progress: Apprentice, Fellowcraft, and Master Mason. Freemasonry was, and remains, open to all men of good reputation who profess a belief in Deity (referred to in lodge as The Supreme Architect of the Universe).

Source: [www.mountvernon.org/library/digitalhistory/digital-encyclopedia/article/freemasonry](http://www.mountvernon.org/library/digitalhistory/digital-encyclopedia/article/freemasonry)

# Freemasonry

## WHO WE ARE

A Freemason is a man who has taken an obligation to uphold our timeless principles of Brotherly love, relief, and truth. Beyond these basics, being a Freemason means so much more. A Freemason is a man who is committed to bettering himself and his community, having taken a solemn vow to help and mentor his Masonic Brothers do the same. A Freemason is a man eager to be part of something bigger than himself, with a reverence for history,

compassion in his heart, and a desire to create a better future. There are three degrees in Freemasonry: Entered Apprentice, Fellowcraft, and Master Mason. Most men advance to the level of Master Mason, some over the course of months; others may accomplish this goal over years. But once a man has taken his first obligation as an Entered Apprentice, he is, once and forever, a Freemason.

Source: <https://wimasons.org/about/>



Reinhart Boerner Van Deuren s.c.  
1000 North Water Street, Suite 1700  
Milwaukee, WI 53202-3197

Telephone: 414.298.1000  
Facsimile: 414.298.8097  
reinhartlaw.com

November 5, 2025

Deborah C. Tomczyk  
Direct Dial: 414-298-8331  
dtomczyk@reinhartlaw.com

**SENT BY EMAIL AND FEDERAL EXPRESS**

Bart Griepentrog, Planning and Development Director  
Village of Shorewood  
3930 North Murray Avenue  
Shorewood, Wisconsin 53211

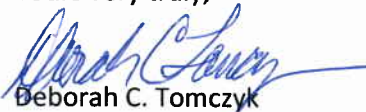
Dear Bart:

Re: Appeal of Denial of Commercial Development  
Application #25-0020 ("Application")

As you know, this firm represents Geroge Washington 1776 Lodge #337 F.&A.M. in its pursuit of a Commercial Occupancy Permit from the Village of Shorewood to relocate the North Shore Masonic Center to 4121 North Wilson Drive, Shorewood, Wisconsin. Enclosed please find the Board of Appeals Application to appeal the Village's denial of our Application.

We kindly request the Village to schedule this matter before the Village Board of Appeals. We appreciate the Village's consideration.

Yours very truly,



Deborah C. Tomczyk

54815539

Encs.

cc Mr. Tyler Kristopeit, via email  
J.A. Reick, via email  
Joseph J. Franke, via email  
Nathan Bayer, via email  
Board of Appeals of the Village of Shorewood, via email



# BOARD OF APPEALS APPLICATION

Planning & Development Department  
 3930 N. Murray Avenue, Shorewood, WI 53211  
 Phone (414) 847-2640

[pad@shorewoodwi.gov](mailto:pad@shorewoodwi.gov)  
[clerks@shorewoodwi.gov](mailto:clerks@shorewoodwi.gov)

The Board of Appeals has the authority to grant exceptions, variances or review appeals regarding Village official code interpretations. A *Variance* allows dimensional variations for items within the zoning code. Use variances are prohibited. *Special Exceptions* are granted for allowed uses when certain conditions must be met.

OFFICE USE ONLY	
PERMIT #	FEE: \$250.00
DATE RECEIVED:	
SCHEDULED MEETING:	
TAX KEY #	

Property Address 4121 North Wilson Drive, Shorewood, Wisconsin

Owner's Information	Applicant Information	Contractor?	YES	NO
Name F Street Wilson, LLC	Name Jerry A. Reick, as Trustee Chairman		<input type="checkbox"/>	<input type="checkbox"/>
Address 1134 North 9th Street, #200	Address 517 East Beaumont Avenue			
City/State/Zip Milwaukee, Wisconsin 53223	City/State/Zip Whitefish Bay, Wisconsin 53217			
Phone # (414) 315-3190    Alt #	Phone # (414) 335-2558    Alt #			
Email josh@fstreet.com	Email jareick@gmail.com			
Check if prefer Board of Appeals Meeting Agenda Emailed: to <input type="checkbox"/> OWNER <input checked="" type="checkbox"/> APPLICANT				

**I/We are requesting a:** (refer to guidelines for explanation):

<input type="checkbox"/> variance	<input type="checkbox"/> special exception	<input checked="" type="checkbox"/> appeal to interpretation to allow
-----------------------------------	--------------------------------------------	-----------------------------------------------------------------------

**Describe in detail the reason you are applying for a Board of Appeals application:**

This Appeal relates to the Village of Shorewood Planning & Development Department's denial of Applicant's Commercial Development Application based on an erroneous classification of Applicant's proposed use as Community Assembly.

**MATERIALS REQUIRED WHEN APPEAL IS PROPERTY-BASED (ONE COLOR COPY OF EACH) :**

- Picture – Of front of property taken from street curb
- Picture(s) – Of property area in question See attached.
- Property survey marked with appropriate dimensions

## Variance Granting Criteria

1. Describe how the hardship is due to physical limitations (lot shape, lot size, grade, drainage, neighboring uses, access, etc.) of the property rather than the circumstances of the appellant (economic, family, personal, and physical [other than certified disability] hardships are not considered, nor are the nature, condition or configuration of structures or improvements on the property):

2. Describe how unnecessary hardship exists because compliance is unreasonably burdensome. The hardship must be unique to the property and cannot be self-created.

3. Describe how you think the granting of this variance would **not** harm public interest such as public safety, the environment, property values, etc.:

**OFFICE USE ONLY – Findings of the Board of Appeals after consideration of the criteria**

Reason for Application:

Applicant's Appeal Ruling

APPROVED

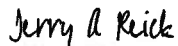
NOT APPROVED

Reason for Ruling:

\* Please verify with the Planning and Development Department prior to placement on the Board of Appeals Agenda whether site plans or other documentation are required.

\* A copy of the Board of Appeals Meeting Agenda will be mailed to the applicant/contractor unless otherwise indicated or emailed if an email is provided.

Signed by:



D9637789DE31444...

Applicant Signature

Jerry A. Reick, as Trustee Chairman



## **Background Information and Guidelines for Appearance before the Village of Shorewood, WI Board of Appeals**

### **Introduction**

The Shorewood Board of Appeals (“BOA”) is a local body that is composed of Shorewood residents pursuant to state law. Every Village that has enacted a zoning ordinance must have a Board of Appeals.

The Shorewood BOA not only hears matters related to zoning but is also empowered to consider appeals stemming from any administrative decision by a Village employee or official. Appeals may also be made from any decision of some Village committees, commissions, or boards. For more detailed information concerning the operation of the BOA, see Village Code Chapter 535, Article X, “Board of Appeals,” and Wis. Stat. § 62.23(7)(e). While this document is intended to provide some basic information and general guidelines associated with operation of the BOA, the above referenced Code section and statute statutes, and any applicable case law interpreting those provisions, govern and should be relied upon when making any appearance before the BOA. This document is only intended as a general overview and not an exhaustive list of every aspect of the BOA.

### **Organization of Board**

By law, the BOA consists of five regular members appointed by the Village President and approved by the Village Board. Members serve a three-year term. In addition, the Village Code provides for the appointment of two alternate members of the BOA who act or vote when a regular member is absent or refuses to vote because of personal interest. (A personal interest includes monetary interest in the outcome of an appeal.)

Board members receive no compensation. The Village Clerk serves as Secretary to the Board. The Board has adopted its own internal operating rules for conducting business per state statute. These rules provide further explanation of the operating procedures for the BOA and can be found on the Village web site.

### **Powers of the Board**

- A. The Board of Appeals possesses the following powers:
- (1) Errors and interpretations. To hear and decide appeals where it is alleged that there is an error in any administrative order, decision, determination or interpretation of zoning districts or other code regulations.
  - (2) Variances. To hear and grant appeals for variances as will not be contrary to the public interest where, owing to special conditions, a literal enforcement will result in practical difficulty or unnecessary hardship, so that the spirit and purpose of this chapter shall be observed and the public safety, welfare and justice secured. Use variances shall not be granted.
  - (3) Special exceptions. To hear and decide special exceptions to the terms of this chapter upon which said Board is required to pass under this chapter.
- B. Permits. The Board may reverse, affirm wholly or partly, or modify the requirements appealed from and may issue or direct the issuance of a permit.
- C. Assistance. The Board may request assistance from other Village officers, departments, commissions, and boards.
- D. Oath. The Chairman may administer oaths and compel the attendance of witnesses.

## Appeals

### Who May Appeal?

Appeals from an administrative decision concerning the literal enforcement of this chapter or of any other Village Code provisions may be made by any person aggrieved, or by any officer, department, board, commission, or bureau of the Village. Such appeals shall be filed with the Secretary within 30 days after the date of written notice of the administrative decision or order and include the items required in Village Code § 535-56 B (1)-(3).

### Records before the Board

Appeals are initiated by the aggrieved party by filing a Board of Appeals Application with the Village Clerk, who will notify the Board of Appeals and the officer with whom the appeal is taken within a reasonable time, as provided by the Board's rules. The Village employee or official must transmit all records constituting the record on which they acted. Depending on whether the review standard is de novo (a new evaluation with no deference to the municipal body appealed from) or certiorari (a review with deference to the municipal body appealed from, which generally hinges on whether there was substantial evidence to support that decision), the Board may take additional evidence at the hearing, if appropriate. In proceeding for variances and special exceptions, evidence considered by the Board may include evidence obtained from site inspections, sworn testimony or exhibits at the hearing.

### Types of Appeal

Errors and Interpretations:

This appeal relates to administrative decisions or actions of certain Village committees, commissions or boards by an aggrieved person of such decision.

Variances:

A variance is a deviation from the terms of the Village Code which is granted by the Board of Appeals under strict limitations. Section 62.23 of Wisconsin Statutes states that the Board of Appeals can only grant variances where the variance:

“will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance will result in practical difficulty or unnecessary hardship, so that the spirit the ordinance shall be observed, public safety and welfare secured, and substantial justice done.”

### Area Variance

Area variances apply to physical dimensional requirements in the Zoning Code such as the height of structures or the setback of structures from property lines. Variances of this type require that unnecessary hardship be established by proving that the dimensional requirement is “unreasonably burdensome.” The courts have determined that this unreasonable burdensome form of hardship must be unique to the property and not solely self-created. The burden of proving this is on the applicant for the variance. The hardship must be unique to the property in terms of its physical and topographical characteristics, and in a way that is not common to neighboring properties. The configuration, condition, and nature of structures knowingly placed or altered on private property is solely self-created and cannot form the basis for variance. The cost of compliance can likewise not be used for basis for a variance.

### Use Variance

Use variances are prohibited in the Village of Shorewood.

Special Exceptions:

Special Exceptions may be granted for expansion or improvement to nonconforming structures only.

### Conducting a Hearing

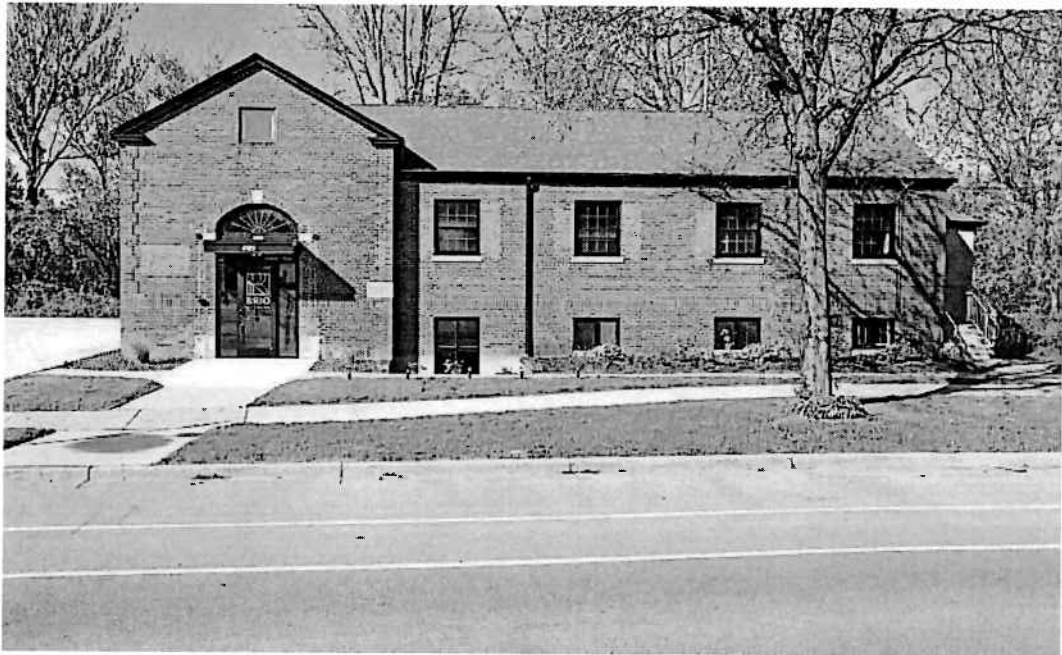
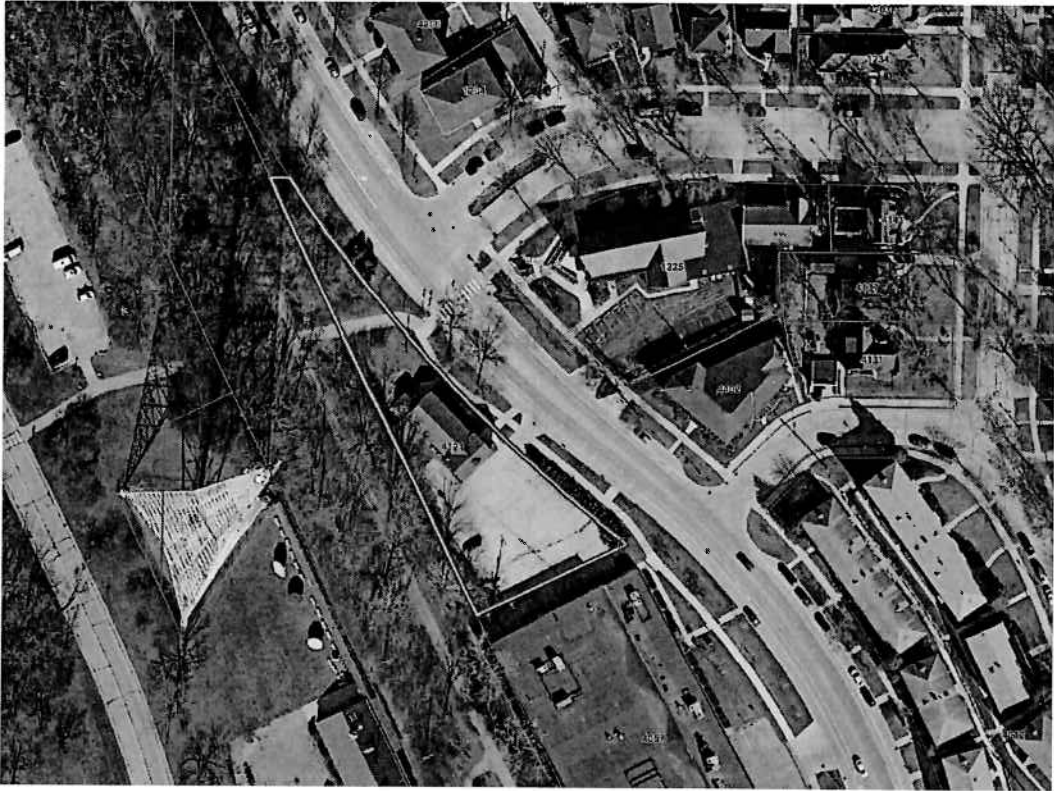
The Board is a quasi-judicial body and is required to make its determination on the basis of evidence presented to it at a hearing.

**Vote Requirement**

The presence of three members shall constitute a quorum for the purpose of making a decision. If a quorum is present, the Board may act by majority vote of the members present.

**Decision**

At the conclusion of a hearing and after completing its deliberation, the Board shall vote and reduce its decision in writing in accordance with the rules of the Board. Notice of the decision shall be given to the appellant and filed with the Village.



986696-02

Village of Shorewood

11/05/2025

483177

250.00

**Invoice Number**

**Invoice Date**

**Amount**

105084-0001

11/04/2025

250.00

**Voucher Index**

**Invoice Number**

**Invoice Date**

**Amount**

179659

105084-0001

11/04/2025

250.00

THIS DOCUMENT HAS A WATERMARK AND CAN BE SEEN WHEN HELD TO THE LIGHT. THIS PAPER IS ALTERATION PROTECTED.

**Reinhart Boerner Van Deuren s.c.**  
1000 North Water Street, Suite 1700  
Milwaukee, WI 53202

JPMorgan Chase Bank  
111 East Wisconsin Avenue  
Milwaukee, WI 53202

**483177** 12-1/750

11/05/2025

**Amount**

**Two Hundred Fifty and 00/100 Dollar(s) ONLY \*\*\*\*\***

**\$250.00**

**VOID AFTER 90 DAYS**

**TWO SIGNATURES REQUIRED FOR CHECK OF FIVE THOUSAND DOLLARS AND OVER**

**PAY TO THE ORDER OF:**

Village of Shorewood  
Planning & Development Dept.  
3930 N Murray Ave  
Shorewood, WI 53211



Authorized Signature

⑈483177⑈ ⑆075000019⑆

092102785⑈



Reinhart Boerner Van Deuren s.c.  
1000 North Water Street, Suite 1700  
Milwaukee, WI 53202-3197

Telephone: 414.298.1000  
Facsimile: 414.298.8097  
reinhartlaw.com

October 2, 2025

Deborah C. Tomczyk  
Telephone: 414-298-8331  
Email: dtomczyk@reinhartlaw.com

**SENT BY EMAIL AND DELIVERED BY MESSENGER**

Village of Shorewood  
Planning & Development Department  
3930 North Murray Avenue  
Shorewood, Wisconsin 53211

To the Planning & Development Department:      Re:      Commercial Development Application and Plan of Operations for Commercial Occupancy at 4121 North Wilson Drive, Shorewood, Wisconsin

This firm represents George Washington 1776 Lodge #337 F.&A.M. ("Applicant") in pursuing a Commercial Occupancy Permit to relocate the North Shore Masonic Center to 4121 North Wilson Drive, Shorewood, Wisconsin ("Property").

This letter withdraws the Commercial Development Application and Plan of Operations for Commercial Occupancy dated August 14, 2025 ("Original Application") which provided incomplete information about Applicant and its proposed uses. Enclosed please find a new, more complete Commercial Development Application and Plan of Operations for Commercial Occupancy (this "Application"), which includes a revised plan of operations ("Plan of Operations"), revised floor and site plans and a \$150.00 application fee.

1.      The Primary Users. Applicant is one of Wisconsin's oldest and most active Masonic Lodges, operating in Milwaukee and Ozaukee Counties, as the North Shore Masonic Center (the "Lodge"). While Applicant will own the Property and use it as its home office and operations base, other Masonic-affiliated bodies also will use the Lodge. All primary Lodge users are united in their commitment to the principles of Brotherly Love, Relief and Truth. While not affiliated with any organized religion, Applicant, its members and its other Masonic-affiliated bodies all exercise belief in a Supreme Being and take solemn oaths to uphold Masonic principles and to better themselves and their communities. Applicant and its Masonic-affiliated bodies also are committed to providing charitable and civic services.

2.      Coming Home to Shorewood. Applicant operated permitted uses from sites similar to the Property in Shorewood for more than 60 years before moving to Whitefish Bay in 2000. Applicant now seeks to relocate its Lodge from 517 East Beaumont Avenue in Whitefish Bay, Wisconsin Masonic Lodge

to the Property to resume operating in Shorewood. The Property was owned by The North Shore American Legion Post #331 (the "Post") from 1940 through 2018 and the Post constructed and occupied the current building at the Property as a permitted use in a fashion very similar to that proposed by Applicant.

3. Intended Uses. Intended uses and operations at the Property are outlined in the enclosed Plan of Operations.

- Applicant will utilize the Property as its home office and operations base, making the Property available for Masonic-affiliated bodies and others like the Post and for services and as an event venue for the general public, consistent with Code sec. 535-25D.
- The building at the Property is and will remain a multipurpose venue facility available to host special events, including graduations, small weddings, anniversaries, holiday gatherings, corporate and other functions or parties, small concerts and general get-togethers, consistent with Code sec. 535-25D(5).
- The Property has and will continue to have indoor and outdoor seating areas, a stage and event areas, but not a full-service kitchen, consistent with Code sec. 535-25D(5).
- The Property will serve as Applicant's workplace for providing professional, executive, management, administrative and similar services, consistent with Code sec. 535-25D(10).

Applicant will utilize the Property to conduct day-to-day operations that support the ongoing general business and professional functions of the Lodge. Specifically, the Property will be principally utilized to handle the office and administrative functions of the Lodge, such as its membership management, financial and accounting affairs. Further, the Property will serve as the primary event space for member meetings and general get-togethers.

4. Insufficient Information. Applicant submitted the Original Application to the Village to obtain a Commercial Occupancy Permit in advance of acquiring the Property. Without even consulting Applicant, the Planning & Development Department (the "Department") classified Applicant's proposed use as "Community Assembly" within the "Civic and Institutional Use Group."

- Contrary to Code sec. 535-25E, Applicant does not propose to use the Property as a public, quasi-public or institutional use providing services to the public at-large.
- Contrary to Code sec. 535-25E(2), Applicant is not a senior center, community center, municipal-owned performing arts center or church.
- Contrary to Code sec. 535-25E(2), Applicant does not propose to restrict use of the Property to dues paying members and their guests.

Applicant is providing this additional information and that in the enclosures to this letter to enable the Department to properly classify Applicant's proposed uses of the Property as uses permitted as-of-right, free from location restrictions, under Code sec. 535-25D.

The Department's erroneous classification of Applicant's proposed use must have been based on incomplete information, because applying zoning based on who the **user is** (as opposed to what the **user does**) would be illegal and discriminatory. 3 Sara C. Bronin & Dwight H. Merriam, Rathkopf's The Law of Zoning and Planning § 60:19 (4th ed.), Westlaw (database updated May 2025). See 63 Atty Gen 34.

5. Improper Focus on Users Not Use. The only language from Code sec. 535-25E(2) which supports classification of Applicant's proposed use at the Property as a Community Assembly subject to location restrictions is that Applicant is a "fraternal organization" or "similar not-for-profit club." To impose locational restrictions based solely on who Applicant is, as opposed to what uses Applicant does, would be discriminatory.

- "Despite widespread zoning practice to the contrary, zoning restrictions, conditions, or decisions which limit the use of land based on the identity or status of the users of the land generally will be held invalid . . . on either due process or equal protection grounds as a restriction by classification that is unrelated to any legitimate public purpose. Such restrictions also may be held ultra vires as beyond the scope of authority delegated by a zoning enabling act. On this ultra vires issue, state courts have held that a zoning enabling act authorizes a municipality to regulate the use of land but not the status or identity of land users. Zoning deals with land use, not the owner, operator or occupant of the land." 3 Sara C. Bronin & Dwight H. Merriam, Rathkopf's The Law of Zoning and Planning § 60:19 (4th ed.), Westlaw (database updated May 2025). See also 63 Atty Gen 34.
- Indeed, imposing location restrictions on Applicant due to its fraternal nature and its members' exercise of beliefs in a Supreme Being, Brotherly Love, Relief and Truth, when those restrictions would not apply to other users undertaking identical uses, would run afoul of the Religious Land Use and Institutionalized Persons Act ("RLUIPA"). RLUIPA prohibits the Village from imposing or implementing its zoning regulations in a manner that would treat a religious assembly or institution on less than equal terms with a nonreligious assembly or institution. 42 U.S.C. sec. 2000cc.(b).
- Treating Applicant's use differently than the Post's prior use at the Property runs contrary to prior precedent and would expose the Village to liability.

6. Proper Use Classification to Avoid Discrimination.

The Code recognizes that zoning must regulate "uses" not "users". Code sec. 535-25B explains that use categories are "based on common functional, product or physical characteristics, such as the type and amount of activity, the type of customers or residents, how goods or services are sold or delivered, or relevant building or site conditions." Similarly, Code sec. 535-25B(4)(a) outlines five considerations for classifying uses:

1. The types of activities that will occur in conjunction with the use;
2. The types of equipment and processes to be used;

3. The existence, number and frequency of residents, customers or employees;
4. Parking demands associated with the use; and
5. Other factors deemed relevant to a use determination.

Applicant's activities will be general office and event venue uses. Applicant's buildout, space configuration, hosting of members and guests and parking demands all will be consistent with office and small get-together uses. There are no use factors which should subject Applicant's proposed uses to location restrictions. To treat Applicant differently from the Post or any other similarly situated Shorewood occupant would violate both State and Federal law.

Given these fundamental tenets of land use law and the expanded facts explained in this letter and its enclosures, Applicant's proposed uses of the Property must be deemed "Event venue" and "Office" uses which are permitted principal uses without any locational restrictions.

We appreciate the Village's consideration of permitting Applicant for occupancy. Please advise the next step for the Village to process the requested permit.

Yours very truly,

  
Deborah C. Tomczyk

54598844v2

Encs.

cc Mr. Tyler Kristopeit, via email  
J.A. Reick, via email

**PROPOSED IMPROVEMENTS/MODIFICATIONS:** (Submit as separate document, if more space is needed.)

- Repairing Rotten Roof Peaks & Dormers
- Tuck Pointing, Masonry Fixes, cleaning & sealing brick
- Replacing 1 Heating Unit and 2 Central A/C Units
- Replacing Windows
- Security Locks & Cameras
- Installation of a Sign
- Installing a Kitchenette (non-commercial) in the lower-level for light refreshments
- Reconfiguring Upstairs Gathering Room to serve as a Masonic Meeting Room (Very minimal configuration needed)

**ACCESS TO PROPERTY.** If a Development Application is submitted, please note that a site inspection may take place and photographs of the applicant's property may be taken prior to consideration/approval. Submission of a Development Application serves as notice and acceptance that Village staff may access your property.

**OCCUPANCY PERMITS.** Buildings, tenant spaces and/or dwellings within commercial buildings are not allowed to be occupied without a current Certificate of Occupancy. Applicable spaces must be inspected and approved for occupancy before they may open to the public. Business or property owners are responsible for scheduling all inspection appointments. If an appointment is not scheduled within a reasonable amount of time, an inspection may be completed at a date and time determined by the Building Inspector. A Certificate of Occupancy will be issued upon approval and shall be visibly displayed to the public on the premise. Temporary Occupancy may be issued for 30-day periods with a \$25 fee to allow businesses to open while corrections related to non-life safety requirements take place. Certificates of Occupancy are valid for 5 years and must be renewed.

**DESIGN REVIEW BOARD.** The Design Review Board meets twice a month on the second and fourth Thursday at 5:00 pm, except in November and December when they meet on the first and third Thursday at 5:00 pm. All required materials, including 9 sets of paper copies (11"x17" preferred) shall be submitted with the application. Applications will not be placed onto an agenda without the review and approval of the Zoning Administrator. **All plans shall be drawn to scale.**

**NEW BUILDINGS:**

- Elevations and Floor Plans
- Site, Landscaping, Screening, Parking, Circulation and Lighting Plans, as applicable
- Survey, including as-built upon completion
- Renderings and material samples, preferred

**ADDITIONS/MODIFICATIONS:**

- Elevations and Floor Plans associated with addition/modified area
  - Accurate representation of window and doors, including trim
- Site, Landscaping, Screening, Parking, Circulation and Lighting Plans, as applicable
- Survey, including as-built upon completion
- Renderings and material samples, preferred

**SITE IMPROVEMENTS:**

- Site, Landscaping, Screening, Parking, Circulation and Lighting Plans, as applicable
- Survey, including as-built upon completion

**DESIGN ADJUSTMENT:**

- Elevations; Site, Landscaping and Screening Plans; as applicable
- Narrative description per (535-31G(5))

**SIGNS:**

- Elevation of sign, in color with full dimensions
- Description of all proposed materials
- Elevation of building on which sign will be affixed, including the proposed sign
- Monument signs shall also include a site and landscaping plan (plant type and quantity), including the location of the proposed sign
- Material samples, preferred

**PLAN COMMISSION.** The Plan Commission meets once a month on the fourth Tuesday at 6:30 pm. Applications for Conditional Use Permits, Planning Adjustments and Special Exceptions, and all associated/required materials shall be on file with the Planning & Development Department by 4:30 pm at least 4 weeks prior to the next available meeting in order to publish and mail required notices.



**PLAN OF OPERATIONS**  
*for relocating* **THE NORTH SHORE MASONIC**  
**CENTER** *to 4121 N. Wilson St. in the*  
**VILLAGE OF SHOREWOOD**

*By the Trustees of* **GEORGE WASHINGTON 1776 LODGE = 337 F.&A.M.**  
**JERRY A. REICK, Chairman**  
**MICHAEL C. VLAHOULIS, Vice Chairman**  
**TYLER J. KRISTOPEIT, Secretary**

**TO BE PRESENTED TO THE VILLAGE OF SHOREWOOD IN CONJUNCTION WITH A  
COMMERCIAL DEVELOPMENT APPLICATION**

## ORGANIZATION NAME

George Washington 1776 Lodge #337 F.&A.M. (hereinafter *the "Lodge"*)

## ORGANIZATION ADDRESS

**Current:** 517 E. Beaumont Ave, Whitefish Bay, WI 53217

**Proposed:** 4121 N. Wilson Ave, Shorewood, WI 53211 (hereinafter *the "Property"*)

## BRIEF OVERVIEW OF PROPOSED TYPE(S) OF USES/SERVICE(S) OFFERED

The primary use of the property will be for Masonic activities serving as the home office and operations base for George Washington 1776 Lodge #337 and Aurora Lodge #30. The Lodge is a historic German-speaking Lodge founded in 1850 whose membership once included Milwaukee's famed "Beer Barons" such as Pabst, Schlitz, and Uihlein. In addition to Blue Lodge Masonry, the facility may also host special events with Masonic-affiliated bodies, including the Order of the Eastern Star (an organization for women), Job's Daughters International (a leadership and character-building organization for young women), and DeMolay International (a leadership and service organization for young men) and others such as The North Shore American Legion Post #331.

Our organization and the Masonic-affiliated bodies we host are united in their commitment to the principles of Brotherly Love, Relief, and Truth, and are deeply rooted in charitable and civic service. Masonry is not affiliated with any organized religion but all Masons believe in a Supreme Being and seek something greater than themselves. Masons do not espouse any political viewpoints but take solemn vows to uphold Masonic principles and to better themselves and their communities.

Collectively, Masons contribute thousands of volunteer hours and substantial charitable support to community causes each year. Activities at the Property will include Lodge member meetings, leadership development programs, charitable planning, and occasional community engagement events. Specifically, the Property will be used to (i) host the Lodge's office and administrative affairs; (ii) serve as the primary event space for meetings of members and Masonic-affiliated bodies, and (iii) host get-togethers of all types furthering Masonry principles and missions and fostering mentorship and fellowship.

By re-establishing our presence in the Village of Shorewood (*hereinafter the "Village"*), we intend to be good neighbors and active civic partners—maintaining the Property with care, supporting local initiatives, and fostering a welcoming environment for both members and guests. Our operations at the Property will be low-impact, occurring

primarily during evenings and on weekends. We look forward to continuing our long tradition of philanthropy, leadership, and public service from our new Shorewood home.

## PREVIOUS EXPERIENCE

The Lodge is a result of the merger of four Masonic Lodges that have operated in the North Shore for many decades. Three of these Lodges owned or operated facilities in the North Shore (one of which we still own and use as our place of meeting):

- **Kenwood Lodge #303:** Founded in 1913, Constructed and occupied the building located at 2648 N Hackett St. (Milwaukee) from 1916–2000. This facility was sold to the Italian Community Center.
- **Silver Spring Lodge #337:** Founded in 1926, acquired the former Christ Church-Episcopal Mission Church located at 517 E Beaumont Ave (Whitefish Bay) in 1947; demolished the mission church and constructed a new facility on the same site in 1965. This building continues to serve our organization.
- **Shorewood Lodge #339:** Founded in 1926–27, Constructed and occupied the building located at 4050 N Oakland Ave (Shorewood) in 1936. This building was subsequently sold to Gilda's Club, and now serves as home to the School of Rock and office uses.

Our Lodge is proud of its long-standing presence and contribution to the physical and cultural fabric of Milwaukee's North Shore communities. We have maintained a strong financial position, supported by a healthy endowment, which allows us to sustain operations and invest in our facilities. Our current building recently underwent a \$400,000 renovation that created the Children's Dyslexia Center of Greater Milwaukee—offering free, professional treatment for children with dyslexia at no cost to their families. This project reflects both our commitment to preserving our built heritage and our dedication to serving the wider community in meaningful and lasting ways. The CDC will not be moving with us to the Property.

## BUILDING/TENANT SPACE DESCRIPTION (ENTIRE BUILDING, FLOOR NUMBER, SUITE NUMBER, ETC.), INCLUDING SQ. FT. OF OCCUPANCY

The Lodge will occupy the entirety of the building located at the Property (*the "Building"*). The Building is a tri-level, ADA-compliant structure, totaling approximately 4,400 square feet of usable office and event space. The main floor will house our Lodge Room, work stations and lounge, while the lower level will contain additional meeting and office space, dining area, kitchenette, restrooms, and utility room. While the Lodge will serve as the primary occupant, portions of the Building may also be used by other Masonic organizations with the same fraternal purpose, including Aurora Lodge #30, —a historic, German-speaking Masonic Lodge founded in

1850 whose membership has included Milwaukee's renowned "Beer Barons" such as Pabst, Schlitz, and Uihlein—as well as potentially Eastern Star (for women), Job's Daughters (for young ladies), and DeMolay (for young men). We also will be making space in the Building available to other groups not affiliated with the Masons, including The North Shore American Legion Post #331. These groups would use the premises on a scheduled basis.

All uses will be consistent with use of the Property by the former owner who constructed the existing Building: The North Shore American Legion Post #331 and occupied the Property from 1940 through 2018.

#### **BRIEF DESCRIPTION OF ON-SITE OPERATIONS**

##### **A. DAYS OF WEEK AND HOURS OF OPERATION**

The Lodge meets on the 1<sup>st</sup> and 3<sup>rd</sup> Tuesday of the Month; Aurora Lodge #30 currently meets on the 2<sup>nd</sup> and 4<sup>th</sup> Tuesday of each Month. Special events may be held on other weeknights or on weekends. Typical hours would be 5-9pm for weeknight events, and 8am-1pm for weekend events.

##### **B. TOTAL NUMBER OF EMPLOYEES, AND MAXIMUM NUMBER OF EMPLOYEES PER SHIFT**

The Lodge has no paid employees. All operations are conducted by elected officers and volunteers from the membership. Current active membership stands at 76 for the Lodge; 30 for Aurora Lodge.

##### **C. EXPECTED NUMBER OF CUSTOMERS PER HOUR/DAY**

On meeting nights, the Lodge sees average attendance of about 20 persons; for special events this can increase to 30-40. The Lodge's Annual North Shore Easter Egg Hunt is held the day before Easter, and typically sees 300+ attendees. Aurora Lodge typically has 5-10 persons in attendance for their meetings and events. The Building will be made available to the general public for special events such as graduations, small weddings, anniversaries, holiday gatherings, corporate and other functions or parties, small concerts and general get togethers. The Building's occupancy will follow applicable occupancy limits set by the Village and North Shore Fire Department Authorities.

##### **D. TRAFFIC CIRCULATION AND PARKING PROVISIONS**

The Property includes an off-street parking lot with shared daytime access under an existing easement with the Village of Shorewood. The lot is fully available to Lodge members and guests for evening and weekend use, which aligns with our primary activity times. Demand is typically fewer than 30 vehicles.

**E. LOCATION AND FREQUENCY OF ONSITE DELIVERIES**

There will be no routine deliveries occurring at the Building.

**F. ANY EXPECTED NOISE, ODORS, GLARE, DUST, FIRE HAZARDS OR SMOKE RESULTING FROM USE**

Indoor and outdoor seating areas and a portion of the existing stage will be preserved and upgraded. However, the Lodge's activities will be low-impact, with no manufacturing, retail sales, or amplified outdoor events. The Lodge is committed to being a respectful and engaged community partner, supporting local initiatives and ensuring our facility is well maintained.

**G. DO YOU INTEND TO DISPLAY ANY MERCHANDISE OR OCCUPY SPACE OUTSIDE?**

No.

**INTERIOR OR EXTERIOR MODIFICATIONS TO THE TENANT SPACE, BUILDING OR SITE ASSOCIATED WITH YOUR OCCUPANCY**

Current plans for the remodel of the building include:

- Repairing Rotten Roof Peaks & Dormers
- Tuck Pointing, Masonry Fixes, cleaning & sealing brick
- Replacing 1 Heating Unit and 2 Central A/C Units
- Replacing Windows
- Security Locks & Cameras
- Installation of a Sign
- Installing a Kitchenette (non-commercial) in the lower-level for light refreshments
- Reconfiguring Upstairs (Very minimal configuration needed)

**SIGNAGE PLANS**

We desire to construct a monument sign in front of the facility. In keeping with the colonial architecture of the Building and the character of the Village, we intend for it to be a wood-cut sign produced by the Wooden Sign Co of Elkhorn, WI ([woodensignco.com](http://woodensignco.com)) or similar vendor.

**PLANS FOR REFUSE AND RECYCLING STORAGE, COLLECTION AND SCREENING.**

There is little refuse or recyclable material produced by our operations. At our current facility, we do not even have a contract for waste/recycling; members and guests take the garbage/recycling home to dispose in their own receptacles. If it is determined that we need garbage/recycling collection at the new facility, we will contract for 95

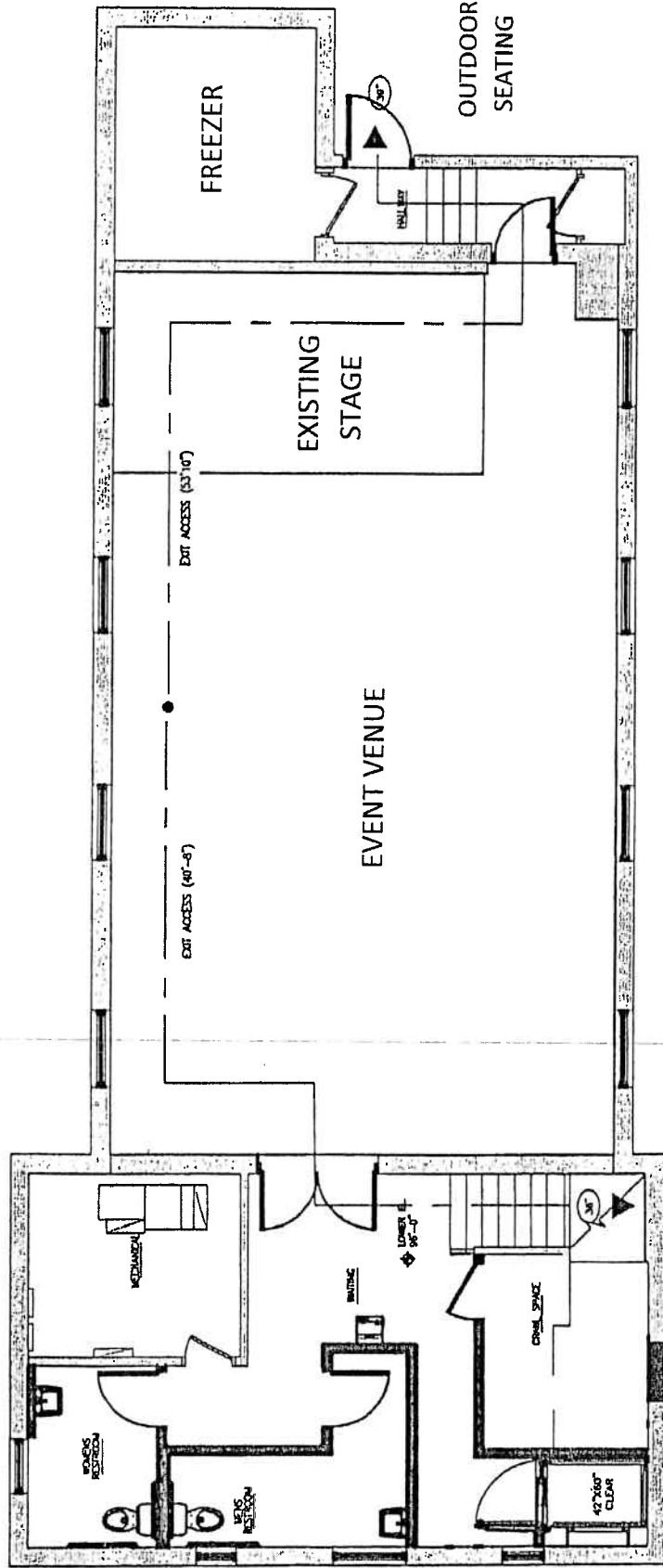
gallon refuse/recycling bins, which will be picked-up at an interval determined by the service provider.

**PLANS FOR ANY OTHER STORAGE, INTERIOR OR EXTERIOR, INCLUDING VEHICLES, ASSOCIATED WITH THIS OCCUPANCY.**

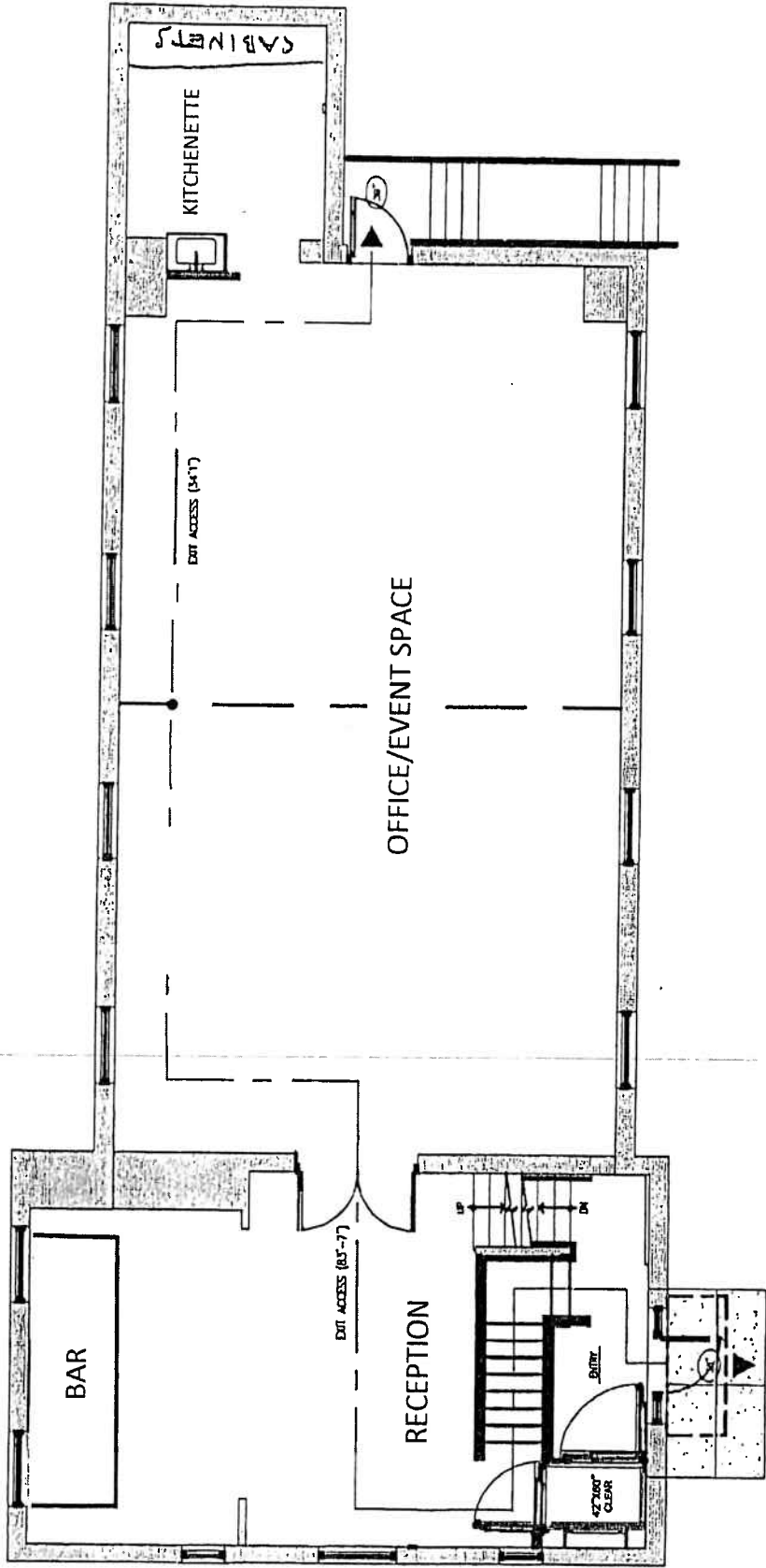
The Lodge does not possess any vehicles, nor any large items that would need to be stored.

**EXPECTED DATE OF OCCUPANCY**

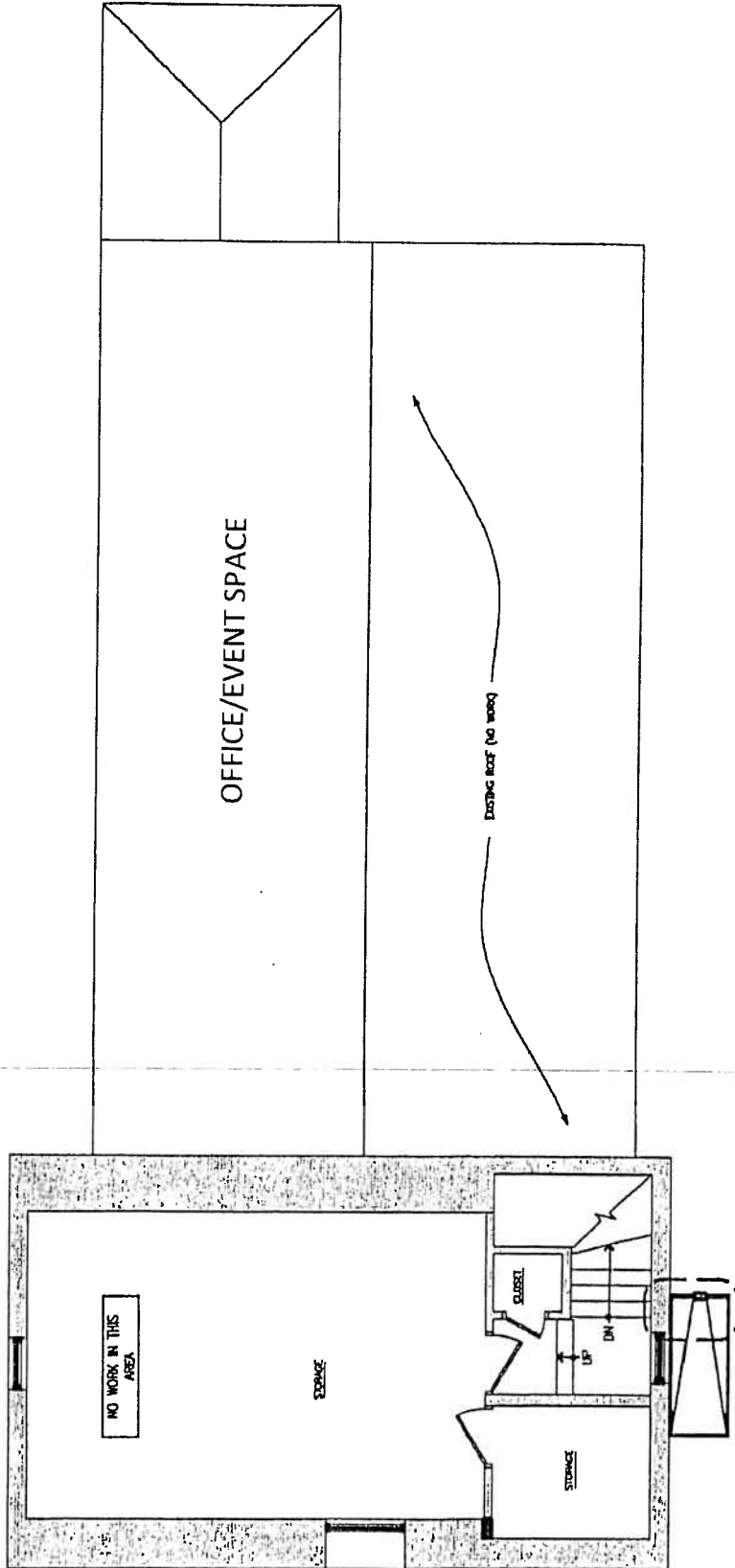
Currently not-determined, but the Lodge would prefer to occupy before the conclusion of the year. If occupancy is granted by the Village, we would expect occupancy on or before October 31, 2025 but not later than November 15, 2025.



1 LEVEL 00 - CODE PLAN  
 1/8" = 1'-0"



2 LEVEL 01 - CODE PLAN  
1/8" = 1'-0"



GENERAL NOTES

**3** LEVEL 02 - CODE PLAN  
 1/8" = 1'-0"



Reinhart Boerner Van Deuren s.c.  
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October 20, 2025

Deborah C. Tomczyk, Esq.  
Direct Dial: 414-298-8331  
dtomczyk@reinhartlaw.com

Bart Griepentrog, Planning &  
Development Director  
Village of Shorewood  
3930 North Murray Avenue  
Shorewood, WI 53211

Dear Bart:

Re: George Washington 1776 Lodge #337

Thank you for your thoughtful consideration of George Washington 1776 Lodge #337's application for occupancy of 4121 North Wilson Drive (the "Property"). We appreciate your diligence in evaluating our application, and I have been authorized to respond to your questions. However, it bears noting that the enhanced diligence applied by the Village to the Lodge's application bolster our RLUIPA claim. Query whether similar questions are posed to other applicants?

That said, we are confident that the answers below further support classifying our intended uses of the Property as general office and event venue. I have copied your questions in bold and inserted our answers below each question.

**1. Based on your application's stated desire to *relocate* your current operations and presuming that you intend to operate similarly to your current location since it was not stated otherwise, can you provide specific examples from the last year where events have been held at the existing Lodge for non-Lodge members, those not related to lodge members, or those that are not Freemasons?**

From October 1, 2024 to September 31, 2025, our Lodge saw a number of non-Masonic events occur at our present facility at 517 E. Beaumont Ave, Whitefish Bay. These events have included:

- CPR Training conducted by the North Shore Fire Department
- Commencement for the Children's Dyslexia Center of Greater Milwaukee
- Tutor Training for the Children's Dyslexia Center of Greater Milwaukee
- Informational Meetings for prospective students of the Children's Dyslexia Center of Greater Milwaukee

Bart Griepentrog, Planning & Development  
Director Village of Shorewood  
October 20, 2025  
Page 2

- The 54<sup>th</sup> Annual North Shore Easter Egg Hunt (which, despite its name, is a non-religious holiday event for the children of the North Shore that regularly sees over 300+ participants annually)

**\*\*Note: All events listed for the Children's Dyslexia Center of Greater Milwaukee occurred in the "lodge space" of the current facility. The CDC rented the lower level, but they used the Lodge space for special events, included but not limited to, those listed above.**

**2. Can members of the general public (i.e. not Lodge members or family of Lodge members, or anyone who is not a Freemason) currently rent or reserve the existing Lodge in Whitefish Bay for the types of events you reference, i.e. weddings, graduations, anniversaries, corporate events, etc?**

Members of the General Public can reserve the facility for the events we've cited. We do not currently advertise this, however, due to the fact that our building is non-handicap accessible and parking has been an on-going concern. These physical limitations often preclude members of the public from wanting to use the facility, despite our desire that the doors be opened to the public. Currently, the space is advertised by word-of-mouth of our members. We will be advertising the Property in Shorewood as available to the public, as the building is handicap accessible and has ample parking.

We already have commitments from the Children's Dyslexia Center to continue conducting their Commencement, Tutor Training Sessions, and Informational Meetings at our facility; they will be executing a lease agreement with us as soon as we are able to occupy the building and are willing to attest to the same. Additionally, the American Legion Post #331 – previous owner of the Property and constructor of the building - have expressed interest in returning to the facility and once again make it their permanent home. We also intend to inform neighboring apartment building owners (across the street) that we are willing to enter into agreements with them to allow for emergency parking in our Lot during snow emergencies. These are just some of the many active ways we intend to ensure the Property is a vibrant gathering space, not simply for Masons – but for all people of Shorewood and Greater Milwaukee.

**3. Can you provide a copy of an event application that the general public can complete to seek to hold a special event at the Lodge?**

A copy of our usage agreement is attached.

Bart Griepentrog, Planning & Development  
Director Village of Shorewood  
October 20, 2025  
Page 3

**4. Does the Lodge currently hold a liquor license? Do you intend to obtain one for your events in Shorewood?**

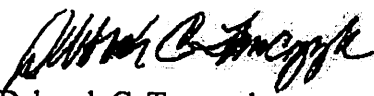
We do not hold a liquor license, as Masons historically do not drink during their gatherings and we are not interested in the hassle of obtaining/maintaining one.

**5. What other state or local licenses does the Lodge hold to facilitate being an "event" venue?**

We do not currently hold any event licenses, as none are required for the types of events currently hosted. As outlined in our usage agreement, any facility users must obtain licenses for their events as needed.

Please advise what else you need to issue our occupancy permit.

Yours very truly,

  
Deborah C. Tomczyk

cc Tyler Kristopeit (by email)  
Jerry Reick (by email)

54733024

## Deborah C. Tomczyk

---

**From:** Deborah C. Tomczyk  
**Sent:** Monday, October 20, 2025 2:18 PM  
**To:** Bart Griepentrog  
**Cc:** josh@fstreet.com; secretary@gw1776.com; Crystal Kopydlowski; jareick@gmail.com; Joseph Franke  
**Subject:** RE: Application for Commercial Occupancy - 4121 N. Wilson Dr. (North Shore Masonic Center)  
**Attachments:** Letter to Bart Griepentrog, Planning & Development Director.pdf; Usage Agreement Template.docx

Bart:

Our responses to your questions about the 4121 North Wilson Drive occupancy are attached. Please advise when we can expect our occupancy permit.

Best, Debby

**Deborah C. Tomczyk**

Reinhart Boerner Van Deuren s.c.  
1000 North Water Street, Suite 1700, Milwaukee, WI 53202

O: 414-298-8331  
[dtomczyk@reinhartlaw.com](mailto:dtomczyk@reinhartlaw.com) | [reinhartlaw.com](http://reinhartlaw.com) | [Bio](#) | [vCard](#)

**Reinhart**

---

**From:** Bart Griepentrog <bgriepentrog@shorewoodwi.gov>  
**Sent:** Thursday, October 16, 2025 2:44 PM  
**To:** jareick@gmail.com  
**Cc:** josh@fstreet.com; secretary@gw1776.com; Deborah C. Tomczyk <dtomczyk@reinhartlaw.com>; Crystal Kopydlowski <ckopydlowski@shorewoodwi.gov>  
**Subject:** [EXTERNAL] Application for Commercial Occupancy - 4121 N. Wilson Dr. (North Shore Masonic Center)

Hi Jerry,

Thanks for submitting a new Application for Commercial Occupancy to relocate the North Shore Masonic Center, a non-profit fraternal organization, to 4121 N. Wilson Dr. This email acknowledges receipt of your new application and closes out your prior submittal, as requested.

Based on the cover letter provided by your attorney (also cc'd to this message), I recognize that you believe your principal uses will be an "office" and "event space." In order to help me better understand how you propose to operate an event space at this location and determine your principal and any accessory uses, I'm hoping you can help provide some additional information by responding to the questions below:

- Based on your application's stated desire to *relocate* your current operations and presuming that you intend to operate similarly to your current location since it was not stated otherwise, can you provide specific examples

from the last year where events have been held at the existing Lodge for non-Lodge members, those not related to lodge members, or those that are not Freemasons?

- Can members of the general public (i.e. not Lodge members or family of Lodge members, or anyone who is not a Freemason) currently rent or reserve the existing Lodge in Whitefish Bay for the types of events you reference, i.e. weddings, graduations, anniversaries, corporate events, etc?
- Can you provide a copy of an event application that the general public can complete to seek to hold a special event at the Lodge?
- Does the Lodge currently hold a liquor license? Do you intend to obtain one for your events in Shorewood?
- What other state or local licenses does the Lodge hold to facilitate being an "event" venue?

I recognize that you have referenced previous occupancies of your organization and this facility but would like to point out that the Village updated its zoning code in 2023, so those prior occupancies were approved under regulations that are out of date.

I look forward to reviewing your answers and any additional or supplementation information that you can provide in order to either further or finalize my review of the principal and accessory uses of your new application and provide you with a determination and next steps.

Regards,  
Bart

Bart Griepentrog, AICP, CNU-A  
Planning & Development Director

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# Chapter 535. Zoning

## Article V. Uses

### § 535-25. Principal uses.

[Amended 6-3-2024 by Ord. No. 3064; 7-7-2025 by Ord. No. 3072]

#### A. General regulations.

- (1) Use Table. Principal uses are allowed in accordance with Table 535-25-1. Multiple principal uses as allowed may be located on one lot or in one tenant space.

*(click here to view the full table)*

Table 535-25-1 Principal Use Table	
<b>Key:</b>	
●	= Permitted as-of-right
◐	= Permitted as-of-right, subject to location restrictions
◑	= Permitted as-of-right [floor area not to exceed 25% of building footprint or in the rear of the ground story per § 535-25A(2)]
○	= Conditional use permit approval required
—	= Prohibited
*	Additional restrictions

*(click here to view the full table)*

Use Group Use Category	Districts												Conditions/Supplemental Regulations			
	Commercial and Mixed-Use				Residential						Public					
	MX1	CX	GX1 GX2	RX	R-1	R-2	R-3	R-4	R-5	R-6	R-7	R-8		R-9 R-10	P-1	P-3
<b>Residential (§ 535-25C)</b>																
Household living, 1 unit	◐	◐	●	●	●	●	●	●	●	●	●	●	●	—	—	
Household living, 2 units	◐	◐	●	●	—	—	●	—	●	●	—	—	—	—		
Household living, 3+ units	◐	◐	●	●	—	—	—	—	●	●	—	—	—	—		

**EXHIBIT  
A**

Use Group Use Category	Districts												Conditions/Supplemental Regulations	
	Commercial and Mixed-Use				Residential						Public			
	MX1		GX1		R-1					R-9				
MX2	CX	GX2	RX	R-2	R-3	R-4	R-5	R-6	R-7	R-8	R-10	P-1	P-3	
Group living														
Community living arrangement, small	●	●	●	●	●	●	●	●	●	●	●	—	—	§ 535-25C(2)(b)
Community living arrangement, large	● ○	○	○	○	—	—	—	—	—	○	○	—	—	§ 535-25C(2)(b)
Residential care facility	●	●	●	●	—	—	—	—	—	●	●	—	—	
Commercial (§ 535-25D)														
Commercial kitchens	●	●	●	—	—	—	—	—	—	—	—	●	—	§ 535-25D(1)
Consumer service	●	●	●	—	—	—	—	—	—	—	—	—	—	
Child-care center, 8 or fewer individuals	●	●	●	●	●	●	●	●	●	●	●	●	—	
Child-care center, 9 or more individuals	●	●	●	—	—	—	—	—	—	—	—	●	—	
Eating and drinking place	●	●	●	—	—	—	—	—	—	—	—	—	—	
Entertainment, indoor	●	●	●	—	—	—	—	—	—	—	—	●	●	
Event venue	●	●	●	—	—	—	—	—	—	—	—	●	●	
Funeral and mortuary service	—	—	●	—	—	—	—	—	—	—	—	—	—	
Lodging	●	●	●	●	—	—	—	—	—	—	—	—	—	
Manufacturing and production, artisan	●	●	●	—	—	—	—	—	—	—	—	—	—	§ 535-25D(9)
Medical-dental clinic-office	●	●	●	—	—	—	—	—	—	—	—	—	—	
Office	●*	●	●	—	—	—	—	—	—	—	—	—	—	

Use Group Use Category	Districts												Conditions/Supplemental Regulations	
	Commercial and Mixed-Use				Residential						Public			
	MX1	CX	GX1 GX2 GX3	RX	R-1 R-2 R-3 R-4	R-5	R-6	R-7	R-8	R-9 R-10	P-1	P-3		
Personal credit establishment	○	○	—	—	—	—	—	—	—	—	—	—	§ 535-25D(12)	
Retail sales, general	●	●	◐	—	—	—	—	—	—	—	—	—		
Retail sales, donated goods	○	○	—	—	—	—	—	—	—	—	—	—	§ 535-25D(14)(b)	
Vehicle service	—	○	—	—	—	—	—	—	—	—	—	—	§ 535-25D(15)(b)	
<b>Civic and Institutional (§ 535-25E)</b>														
College	◐	◐	◐	—	—	—	—	—	—	—	—	●	—	
Community assembly	◐	◐	◐	—	—	—	—	—	—	—	—	●	—	
Cultural facility	●	●	●	—	—	—	—	—	—	—	—	●	—	
Hospital	—	—	●	—	—	—	—	—	—	—	—	●	—	
Parks and open space	—	—	—	—	—	—	—	—	—	—	—	●	●	
Safety service	●	●	●	—	—	—	—	—	—	—	—	●	—	
School	◐	◐	◐	—	—	—	—	—	—	—	—	●	—	
Utilities and services, minor	●	●	●	●	●	●	●	●	●	●	●	●	●	
Utilities and services, major	—	—	—	—	—	—	—	—	—	—	—	●	●	
<b>Other Uses (§ 535-25F)</b>														
Parking lot	—	○	○	○	—	—	—	—	—	—	—	○	○	§ 535-25F(1)(b)

(2) Interpreting the Use Table.

- (a) Use classification system. Uses are listed in the first column of Table 535-25-1. This chapter classifies uses into categories and subcategories, as explained in § 535-25B.
- (b) Permitted uses. Uses identified with a "●" are permitted as-of-right in the subject zone, subject to compliance with all other applicable regulations of this chapter.
- (c) **Permitted as-of-right, subject to location restrictions.** Uses identified with a "◐" are permitted as-of-right in the subject zone but only when located above the ground floor in upper stories of the building or in the rear of the ground story, a minimum of 20 feet from

the primary facade. The first 20 feet behind the primary facade must contain occupied building space of an allowed use. See § 535-6A for definition of "occupied building space."

Uses identified with a "\*" shall not be located along the primary facade within 60 feet from a street corner (measured from the corner of the building), and may only be located within buildings with at least 120 linear feet of primary frontage, so long as those total uses, not including a lobby, occupy no more than 90 linear feet or 50% of the frontage along the primary facade, whichever is less.

- (d) Permitted in limited portion of building footprint. Uses identified with a "⊙" are permitted as-of-right in the subject zone in any floor of the building, provided that the total cumulative floor area occupied by such uses does not exceed 25% of the ground story building footprint. A planning adjustment may be requested for up to an additional 10% of the footprint, maximum 35%.
- (e) Conditional uses. Uses identified with a "◦" are allowed only if reviewed and approved in accordance with the conditional-use permit procedures of § 535-31F.
- (f) Prohibited uses. Uses identified with a "—" are expressly prohibited. Uses that are not listed in the Use Table and that cannot be reasonably interpreted (as stated in § 535-25B) to fall within any defined use category or subcategory are also prohibited.
- (g) Conditions. The final ("Conditions") column of Table 535-25-1 includes a cross-reference to any supplemental (use-specific) conditions that apply to one or more uses within the subject use category.
- (h) Accessory uses and structures. Many customary accessory uses and structures are allowed in conjunction with principal uses. See § 535-26 for regulations.
- (i) Conversions. In R-1 through R-7 Districts, no one-unit household residence may be converted to a two-unit residence.
- (j) Performance standards. Performance standards listed in Article VIII shall be complied with by all uses in all districts.

B. Use classifications. This subsection establishes and describes the use classification system used to categorize principal uses under this chapter.

- (1) Use groups. This section classifies principal uses into four major groupings. These are referred to as "use groups." The use groups are as follows:
  - (a) Residential (See § 535-25C.);
  - (b) Commercial (See § 535-25D.);
  - (c) Civic and institutional (See § 535-25E.); and
  - (d) Other (See § 535-25F.).
- (2) Use categories. Each use group is further divided into more specific categories. Use categories classify principal uses and activities based on common functional, product or physical characteristics, such as the type and amount of activity, the type of customers or residents, how goods or services are sold or delivered, or relevant building or site conditions.
- (3) Use subcategories. Some use categories are further broken down to identify specific subcategories of uses.
- (4) Classification of uses.
  - (a) The Zoning Administrator is authorized to classify individual uses on the basis of the use group, category, and subcategory descriptions of this article. When a use cannot be reasonably classified into a use group, category, or subcategory, or appears to fit multiple groups, categories, or subcategories, the Zoning Administrator is authorized to assign the

use to the most similar and thus most appropriate group, category, or subcategory based on the actual or projected characteristics of the principal use or activity in relationship to the use group, category, or subcategory descriptions. In making such determinations, the Zoning Administrator must consider:

- [1] The types of activities that will occur in conjunction with the use;
  - [2] The types of equipment and processes to be used;
  - [3] The existence, number and frequency of residents, customers or employees;
  - [4] Parking demands associated with the use; and
  - [5] Other factors deemed relevant to a use determination.
- (b) If a use can reasonably be classified in multiple groups, categories, or subcategories, the Zoning Administrator is authorized to categorize each use in the category that provides the most exact, narrowest, and appropriate fit.
- (c) Appeals of use classification determinations may be taken to the Board of Appeals in accordance with the appeal procedures of § 535-56.
- C. Residential use group. The residential use group includes uses that provide for long-term residential occupancy by individual households or by groups of people living together in a non-household setting.
- (1) Household living. The household living use category is characterized by a single household occupying a dwelling unit that is self-contained, with facilities for cooking, eating, sleeping, and hygiene. Tenancy is typically 30 days or longer. Examples of household living uses include living in houses, residential buildings containing multiple dwelling units, mixed-use buildings, and other buildings containing self-contained dwelling units. Housing that includes shared facilities (e.g., assisted living facilities, co-housing, and intentional communities) is considered household living if residents occupy self-contained dwelling units.
  - (2) Group living.
    - (a) Description. The group living use category is characterized by residential occupancy of all or a portion of a building by a group other than a household. Individuals typically occupy rooms or areas that do not include separate cooking, eating, or bathroom facilities necessary to provide for self-contained living. Group living uses typically have a common eating area for residents. Tenancy is typically 30 days or longer. Buildings or spaces occupied by group living uses contain individual rooms with private or shared bathroom facilities and may also contain shared kitchen facilities, and/or common dining and living areas for residents. Residents may or may not receive any combination of care, training, or treatment, but those receiving such services must reside at the site. Group living uses include the following subcategories:
      - [1] Community living arrangement. Any use described in § 46.03(22), 48.743(1), 48.02(6), or 50.01(1), Wis. Stats. Small community living arrangement uses are those occupied by eight or fewer residents (not counting caregivers). Large community living arrangement uses are those occupied by nine or more residents (not counting caregivers).
      - [2] Residential care facility. A nursing home, as described in § 50.01(3), Wis. Stats., a hospice, as described in § 50.90(1), Wis. Stats. or a residential care apartment complex, as described in § 50.034, Wis. Stats.
    - (b) Use-specific conditions. Community living arrangements are subject to the regulations established in § 62.23(7)(i), Wis. Stats.
- D. Commercial use group. The commercial use group includes uses that provide a business service or involve the selling, leasing or renting of merchandise to the general public.

- (1) Commercial kitchens.
  - (a) Description. Establishments that utilize kitchens for commercial operations. Typical uses include confections, bakeries, caterers, and custom-made food items.
  - (b) Supplemental regulations. In the MX Districts, a minimum of 200 square feet of accessory retail sales is required for commercial kitchens. The accessory retail sales or service must be located within the primary frontage of the building. No on-site retail sales may be associated with commercial kitchens in the P-1 District.
- (2) Consumer service. The consumer service use category includes establishments that provide personal or small business oriented services to individuals or small businesses. Typical uses in the consumer service use category include the following:
  - (a) Improvement service. Establishments that provide grooming, cosmetic, or well-being-related services for people and their pets. Typical uses include barbers, hair and nail salons, pet grooming establishments, tanning salons, day spas, health clubs, and body art services (e.g., tattoo and piercing). Also includes practitioners of the healing arts, such as massage therapists and acupuncturists, but does not include medical and dental clinics and offices in § 535-25D(10). Walk-in consultations or appointments are typically allowed and retail goods supporting the business are on display and for sale.
  - (b) Studio, artist or instructional service. Establishments that focus on providing individual or small group instruction or training in fine arts, music, dance, drama, fitness, language or similar activities. Also includes dance studios, ballet academies, yoga studios, martial arts instruction, tutoring, artist studios and photography studios.
  - (c) Business support service. Establishments that provide personnel services, printing, copying, package (delivery) dropoff, photographic services or communication services to businesses or consumers. Examples include employment agencies, copy and print shops, delivery/courier service dropoff location for consumers, and photo developing labs.
  - (d) Consumer maintenance and repair service. Establishments that provide maintenance, cleaning and repair services for consumer goods on a site other than that of the customer (i.e., customers bring goods to the site of the repair/maintenance business). Examples include laundry and dry cleaning pickup shops, tailors, bicycle repair, taxidermists, dressmakers, shoe repair, picture framing shops, locksmiths, vacuum repair shops, electronics repair shops and similar establishments.
- (3) Child-care center. Uses licensed by the state, described in § 49.136(1)(ad), Wis. Stats., and providing care and supervision for children under the age of seven away from their primary residence for more than four hours and less than 24 hours per day.
- (4) Eating and drinking places. The eating and drinking places use category includes establishments that prepare and serve food or beverages for on- or off-premises consumption. The category includes full-service restaurants, take-out restaurants, ice cream and yogurt shops, bars, taverns, brewpubs, and banquet halls. Eating and drinking places with drive-up or drive-through service are allowed only where accessory drive-through service is allowed, in accordance with the building type regulations of § 535-22.
- (5) Entertainment, indoor. Establishments that provide commercial gathering places, primarily indoors, for participant or spectator entertainment that have no more than 20,000 square feet of total gross floor area. Typical general entertainment uses include cinemas, theaters, arcades, bowling alleys, and experience-based entertainment establishments, such as laser tag, escape rooms, and arts and crafts workshops. Does not include adult-oriented businesses.
- (6) Event venue. An event venue is a multipurpose venue facility hosting special events, such as graduations, weddings, anniversaries, holiday gatherings, trade shows, corporate functions or

parties, concert settings, and general get-togethers. An event venue typically includes indoor and/or outdoor seating and a stage or event area, but not a full-service kitchen.

- (7) Funeral and mortuary service. The funeral and mortuary service use category includes establishments that provide services related to the death of a human or domestic household pet, including funeral homes and mortuaries.
- (8) Lodging. Establishments that provide temporary lodging for less than 30 days to transient guests who maintain a permanent place of residence elsewhere. Examples include hotels and motels, bed-and-breakfast inns, as described in § 97.01(1g), Wis. Stats., and short-term rentals, as described in § 66.1014(1)(c), Wis. Stats.
- (9) Manufacturing and production, artisan.
  - (a) Description. The artisan manufacturing and production use category includes indoor work spaces used by artists for the creation of art or the practice of their artistic endeavors or by craftspeople who produce consumer goods by hand manufacturing, involving the use of hand tools and small-scale, light mechanical equipment in a completely enclosed building with no outdoor operations, storage or regular commercial truck parking/loading. Typical uses include woodworking; custom furniture shops; tailors and clothing-makers; cabinetmaking; ceramic studios; jewelry manufacturing; upholstery shops; and artwork, including painting, printmaking and sculpture.
  - (b) Supplemental regulations. In the MX District, a minimum of 200 square feet of accessory retail sales or service is required for artisan manufacturing and production. The accessory retail sales or service must be located within the primary frontage of the building.
- (10) Medical or dental office or clinic. Workplaces of medical practitioners, such as medical doctors, optometrists, dentists, physical therapists, chiropractors, and veterinarians licensed for such practice by the state and where appointments are typically scheduled in advance. This subcategory includes outpatient clinics and urgent care facilities, but excludes medical services provided in hospitals.
- (11) Office. The office use category includes workplaces of private companies, organizations (for-profit and nonprofit), and public agencies providing professional, executive, management, medical, administrative, or design services, including the following subcategories:
  - (a) Business and professional office. Workplaces of firms, organizations, or agencies, as well as individuals in a co-working environment, providing professional, executive, management, administrative, financial, accounting, consulting, or legal services, but excluding walk-in offices. Examples of business and professional offices include accounting, architecture, computer software design, engineering, graphic design, interior design, investment, insurance, law offices, mental health practitioners, and counselors.
  - (b) Broadcast or recording studio. Establishments that provide for audio or video production, recording or broadcasting.
  - (c) Business training. Commercial establishments and facilities, including classrooms, providing vocational, trade, business or professional training services in a completely enclosed building.
  - (d) Financial service. Establishments involved in the exchange, lending, borrowing and safekeeping of money. Examples include banks and credit unions. Automatic teller machines, kiosks and similar facilities that do not have on-site employees are not classified as financial service uses if they meet the criteria for classification as an accessory use. Personal credit establishments are not considered financial service uses. [See § 535-25D(12).]
  - (e) Research service. Establishments engaged in scientific research and testing services leading to the development of new products and processes. Research service uses do not include the mass production, distribution or sale of products or uses that produce odors,

dust, noise, vibration or other external impacts that are detectable beyond the property lines of the subject property.

- (f) Walk-in office. Workplaces primarily providing direct services to patrons or clients, typically not requiring appointments. This subcategory includes employment agencies, insurance agencies, real estate agent offices, travel agencies, utility company offices, and offices for elected officials. It does not include medical or dental offices or uses more specifically classified as financial services.

(12) Personal credit establishment.

- (a) Description. The personal credit establishment use category includes any one or more of the following:

- [1] Check cashing establishment. Any use, except a bank, trust company, savings bank, savings and loan association, credit union, or industrial loan and thrift company, engaged in the business of cashing checks, drafts, money orders or traveler's checks for a fee.
- [2] Pawnbroker. An establishment that is engaged to any extent in the purchasing and selling of articles or jewelry in a manner described in § 134.71(1)(e) or 134.71(1)(g) or (h), Wis. Stats.
- [3] Payday lender. Any person or entity that is substantially in the business of negotiating, arranging, aiding, or assisting a consumer in procuring payday loans, as described in § 62.23(7)(hi)1.b, Wis. Stats.

- (b) Use-specific conditions. Personal credit establishments are subject to the following use-specific regulations:

- [1] A personal credit establishment may not be established within 1,500 feet of any other personal credit establishment, measured in a straight line between the nearest exterior walls of the buildings occupied by the respective personal credit establishments.
- [2] A personal credit establishment may not be established within 150 feet of an R-1, R-2, R-3, R-4, R-5, or R-6 Zoning District or a P-1 Zoning District.
- [3] A personal credit establishment may not be established within 50 feet of a Planned Development District, unless the Plan Commission specifically finds that the proposed use would be consistent with the uses allowed in the subject Planned Development District and would not impede the normal and orderly development and improvement of the property in the Planned Development District.
- [4] A personal credit establishment may not be open or in operation between the hours of 9:00 p.m. and 7:00 a.m.

- (13) Retail sales, general. The general retail sales use category includes uses that sell or otherwise provide pharmaceuticals, groceries, sundry goods, convenience goods, consumer shopping goods, household goods, plants and flowers, or hardware, except that the sale or display of firearms or ammunition suitable for use in a firearm is prohibited. This category includes consignment sales and retail sales of used merchandise, including antiques, and does not include goods classified in the retail sales, donated goods category.

(14) Retail sales, donated goods.

- (a) Description. The donated goods retail sales use category includes uses that receive donated goods from the public for on-site sale of those goods to the public, except that the sale or display of firearms or ammunition suitable for use in a firearm is prohibited. Consignment sales and retail sales of used merchandise is classified in the general retail sales use category.

(b) Use-specific conditions. Retail sales, donated goods, are subject to the following use-specific regulations:

- [1] Donation dropoff must be limited to during business hours only. All donations must be brought inside or collected from an employee at an entrance and stored inside.
- [2] Exterior doors must include a sign specifying that no donations outside of business hours are accepted.
- [3] Refuse containers must be located inside the building per § 535-22D(5).

(15) Vehicle service.

(a) Description. The vehicle service use category includes uses that provide for the ordinary maintenance, or limited repair of new or used passenger motor vehicles. Examples of vehicle service uses include the following subcategories:

- [1] Fueling station. Establishments engaged in retail sales of vehicle fuels or electric vehicle supply for personal motor vehicles, other than truck stops and fleet fueling facilities. Fueling stations may dispense conventional vehicle fuels and/or alternative vehicle fuels. See § 535-26D for accessory structure fueling pumps and § 535-26C for electric vehicle charging equipment. Electric charging for fleet vehicles is allowed, accessory to the principal use.
- [2] Personal vehicle repair and maintenance, minor. The service and repair of automobiles, light-duty trucks, boats, and motorcycles, including the incidental sale, installation, and servicing of related equipment and parts. This classification includes the replacement of small automotive parts and liquids as well as emissions testing, quick-service oil, tune-up and brake and muffler shops in which service is provided in enclosed bays and no vehicles are stored overnight. Does not include disassembly, removal or replacement of major components, such as engines, drive trains, transmissions or axles; automotive body and fender work, vehicle painting or other operations that generate excessive noise, objectionable odors, or hazardous materials.
- [3] Car washes. Establishments engaged in the cleaning of motor vehicles. As the principal use on the lot, all car wash facilities must meet the regulations of a building type. Accessory car wash facilities are regulated as outbuildings.

(b) Use-specific conditions. Vehicle service uses are subject to the following use-specific regulations:

- [1] The maximum number of vehicles that may be stored or displayed outside of completely enclosed buildings may not exceed one vehicle per 300 square feet of lot area after deducting areas covered by buildings and required parking and maneuvering areas from the gross area of the lot.
- [2] Vehicles may not be stored in tandem; each vehicle must be accessible from a drive aisle.
- [3] Inoperable vehicles must be parked on-site and for no more than 30 days.

E. **Civic and institutional use group.** The civic and institutional use group includes public, quasi-public, and institutional uses that provide services that benefit the public at-large.

- (1) College. The college use category includes institutions of higher learning that offer courses of general or specialized study and are authorized to grant academic degrees. The college use subcategory includes classrooms and instructional spaces, as well as on-campus residence halls, fraternity and sorority houses, administrative buildings, auditoriums and other on-campus uses and facilities that provide customary accessory and support functions for college or university uses.

- (2) **Community assembly.** The community assembly use category includes facilities for hosting public or private meetings including senior centers, community centers, municipal-owned performing arts centers, and religious institutions. **It also includes fraternal organizations** and similar not-for-profit clubs restricted to use by dues paying members and their guests.
- (3) Cultural facility. Museum-like preservation and exhibition of objects in one or more of the arts and sciences, gallery exhibition of works of art or library collections of books, manuscripts and similar materials operated by a public or quasi-public agency.
- (4) Hospital. State-licensed public, private, and nonprofit facilities providing inpatient medical, surgical, mental health, or emergency medical services. Hospitals may also provide outpatient treatment.
- (5) Parks and open space. The parks and open space use category includes recreational, social, or multipurpose uses associated with public parks, public open spaces, public play fields, public or private golf courses, or other outdoor open space or recreation areas. It also includes urban agriculture uses, such as community gardens, outdoor urban farms and beekeeping. The parks and open space use category includes the following subcategories:
  - (a) Community garden. An area of land managed and maintained by a public or nonprofit organization or a group of individuals to grow and harvest food crops and/or ornamental crops, such as flowers, for personal or group use, consumption, or donation. Community gardens may be divided into separate plots for cultivation by one or more individuals or may be farmed collectively by members of the group and may include common areas maintained and used by group members. Community gardens may be principal uses or accessory to other public or semipublic uses, such as parks, schools, community centers, or community assembly uses. This classification does not include gardens that are accessory to residential uses when access is limited to those who reside on the subject property. Sales of products produced in association with a community garden is permitted as an accessory use in zones in which retail sales and entertainment uses are allowed.
  - (b) Natural resource preservation. Undeveloped land left in a natural state for specific use as visual open space or environmental purposes. Typical uses include wildlife or nature preserves, arboretums, flood management projects and reservoirs.
  - (c) Parks and recreation. Parks, playgrounds, recreation facilities, and related open spaces that are open to the general public. This subcategory also includes playing fields, courts, gymnasiums, swimming pools, picnic facilities, tennis courts, boat docks, and golf courses, as well as related food concessions or clubhouses within a principal structure or in an accessory structure on the same site.
- (6) Safety service. Publicly owned establishments that provide fire, police, or public safety services, together with the incidental storage and maintenance of necessary vehicles. Typical uses include fire stations, police stations, ambulance services, and storm or civil defense shelters.
- (7) School. Public and private schools at the primary, elementary, middle school or high school level that provide basic, compulsory, state-mandated education outside of a residence.
- (8) Utilities and services. The utilities and services use category includes utilities and essential public service uses and facilities. The utilities and services use category includes the following subcategories:
  - (a) Utilities and services, minor. Facilities that need to be located in or close to the area where the service is provided. Minor utilities generally do not have regular employees at the site and typically have few if any impacts on surrounding areas. Typical uses include water and sewer pump stations; gas regulating stations; underground electric distribution substations; electric distribution lines and transformers; bus turnarounds and on-street transit stops, water conveyance systems; stormwater storage and conveyance systems; and emergency communication warning/broadcast facilities.

- (b) Utilities and services, major. Facilities that typically have substantial visual or operational impacts on nearby areas. Typical uses include water and wastewater treatment facilities and high-voltage electric substations, and utility-scale power generation facilities (including wind, solar and other renewable and nonrenewable energy sources).

F. Other uses.

(1) Parking lots and structures.

- (a) Description. The parking lots and structures use category includes all parking lots and parking structures located on lots or sites that are not occupied by a principal building or use, including public parking lots, parking lots for electric vehicle charging, and parking lots that provide required parking spaces for land uses that are located on a different site than the use served by such parking (i.e., off-site parking).
- (b) Use-specific conditions. Use-specific conditions are as follows:
  - [1] Access. Access to parking lots and structures must be off an alley; if no alley exists, access may be located off a non-primary street; if no alley and no non-primary street exists, one access drive may be off a primary street.
  - [2] Materials. Any portion of a parking structure fronting a street or visible from any street must meet the design requirements for parking facades per § 535-23E(10).
  - [3] Ramps. Drive ramps sloped more than 1:20 must not be located on a primary street facade.
  - [4] Height. The height of any parking structure must be lower than any part of an abutting or adjacent principal structure by a minimum of six feet.
  - [5] Re-use. The structure providing horizontal floors at the floor-to-floor heights of one of the building types allowed in the zoning district, to allow future conversion to another use.
  - [6] Buffers and interior parking lot landscaping. See § 535-24 for required buffers and landscaping.

Village of Shorewood, WI  
Thursday, December 11, 2025

# Chapter 535. Zoning

## Article V. Uses

### § 535-26. Accessory uses and structures.

#### A. General accessory use regulations.

- (1) Uses and structures authorized. Accessory uses and structures are allowed only in connection with lawfully established principal uses and principal structures. Allowed accessory uses and structures are limited to those expressly identified in Table 535-26-1, as well as those that, in the determination of the Zoning Administrator, satisfy all of the following criteria:
- (a) They are customarily found in conjunction with the subject principal use and structure;
  - (b) They are subordinate and clearly incidental to the principal use of the property;
  - (c) They are operated and maintained by the owners or lessees of the principal use; and
  - (d) They serve a necessary function for or contribute to the comfort, safety or convenience of the owners or lessees of the principal use.

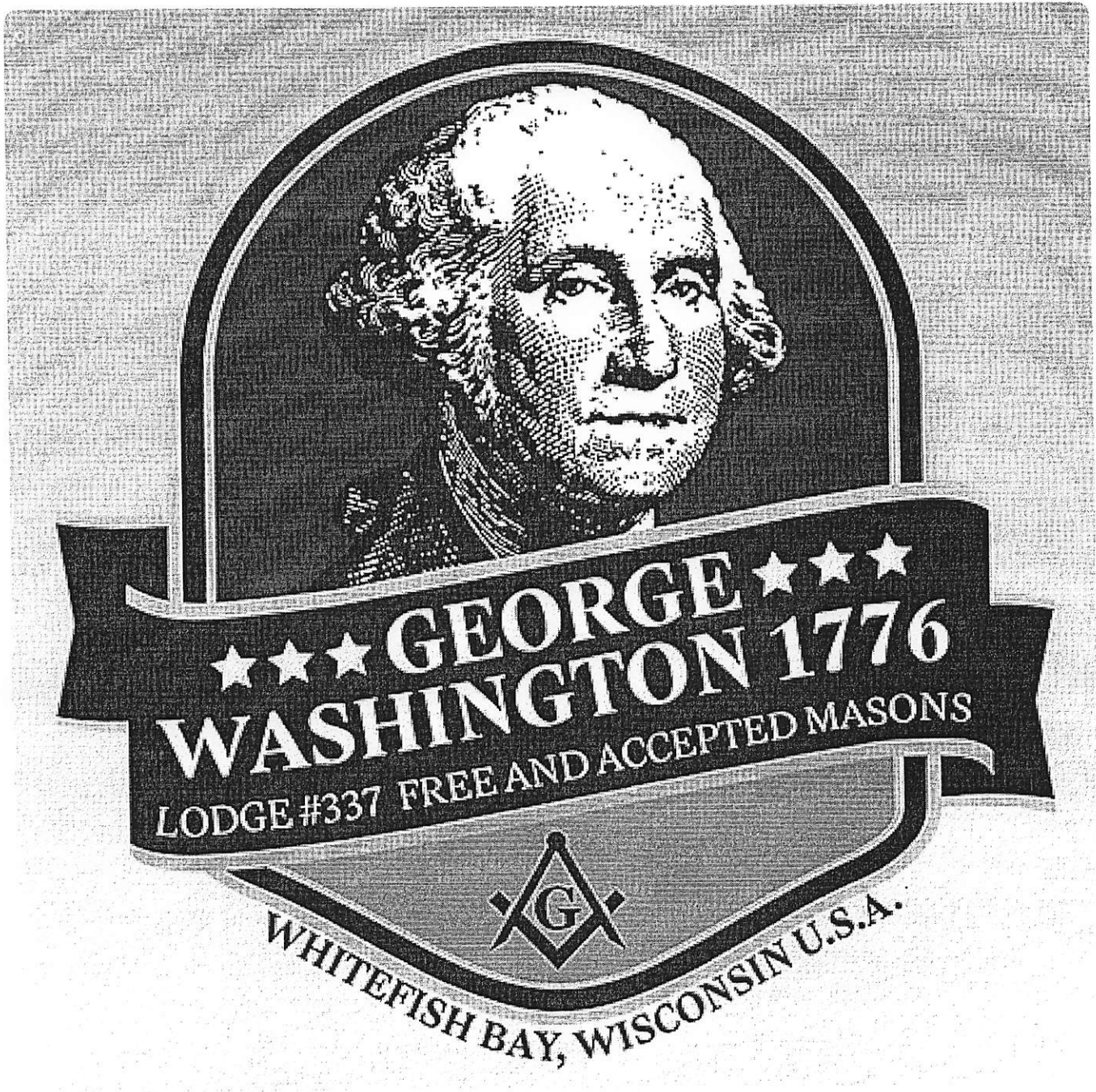
[\(click here to view the full table\)](#)

Table 535-26-1 Accessory Use and Structure Table	
<b>Key:</b>	
●	= Permitted
○	= Requires conditional use approval
—	= Prohibited

[\(click here to view the full table\)](#)

Accessory Use	Districts												Reference				
	Commercial and Mixed-Use				Residential						Public						
	MX	CX	GX	RX	R-1	R-2	R-3	R-4	R-5	R-6	R-7	R-8		R-9	R-10	P-1	P-3
Drive-through facility	See building type regulations § 535-22.				—	—	—	—	—	—	—	—	—	—	—	—	§ 535-26B
Electric vehicle supply equipment	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	§ 535-26C

**EXHIBIT B**  
1/9



Upcoming Events

DEC	Installation of Officers at NWMC Dec 16, 2025 - 6:00 pm - 8:00 pm
TUE	
16	

JAN	Stated Communication at NWMC Jan 6, 2026 - 6:00 pm - 8:00 pm
TUE	
6	

JAN	Stated Communication Jan 6, 2026 - 6:30 pm - 7:30 pm
TUE	
6	

FEB
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EXHIBIT C
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Recent News

No news posts. Ask your group to post more news!

Sign in or create an account

Log in or create your account to:

- Make dues payments,
- RSVP to events,
- Manage your preferences, such as notifications, bulk emails, and news feed inclusion.

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[Learn More](#)

517 E. Beaumont Ave.  
Whitefish Bay, WI 53217



Google

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George Washington 1776 Blue Lodge #0337

Chartered on 06/09/1926 by the Grand Lodge of Wisconsin, George Washington 1776 Lodge #337 F. & A.M. in Whitefish Bay, Wisconsin is part of District #012.

517 E. Beaumont Ave.  
Whitefish Bay, WI 53217

<http://gw1776.org>

[More Information](#)

Related Groups

Member Of

District #012

Related Locals

Aurora #0030

Damascus #0290

Day Lite #0358  
Freemasons #0363  
Henry L Palmer #0301  
and 9 more...

## Links

### Facebook

- [George Washington 1776 #337 Home Page](#)

### Wisconsin Grand Lodge

- [Home](#)
- [Lodge Administrative Resources](#)
- [Lodge Planning Tools](#)
- [Wisconsin Masonic Journal - Online Editions](#)
- [MORI - MORI Log in page](#)

### Wisconsin District #12

- [Google Site with Calendar](#)



BROTHERLY LOVE. RELIEF. TRUTH.

# Not just a man. A Mason.

A Freemason is committed to bettering himself, his community, and the world. He is on a journey of self-discovery believing in something greater than himself, a journey in which he will be supported by other good men.

Become the best version of you. Answer the call. Begin the journey.

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# Brotherhood

## WHAT IS FREEMASONRY? FREEMAS

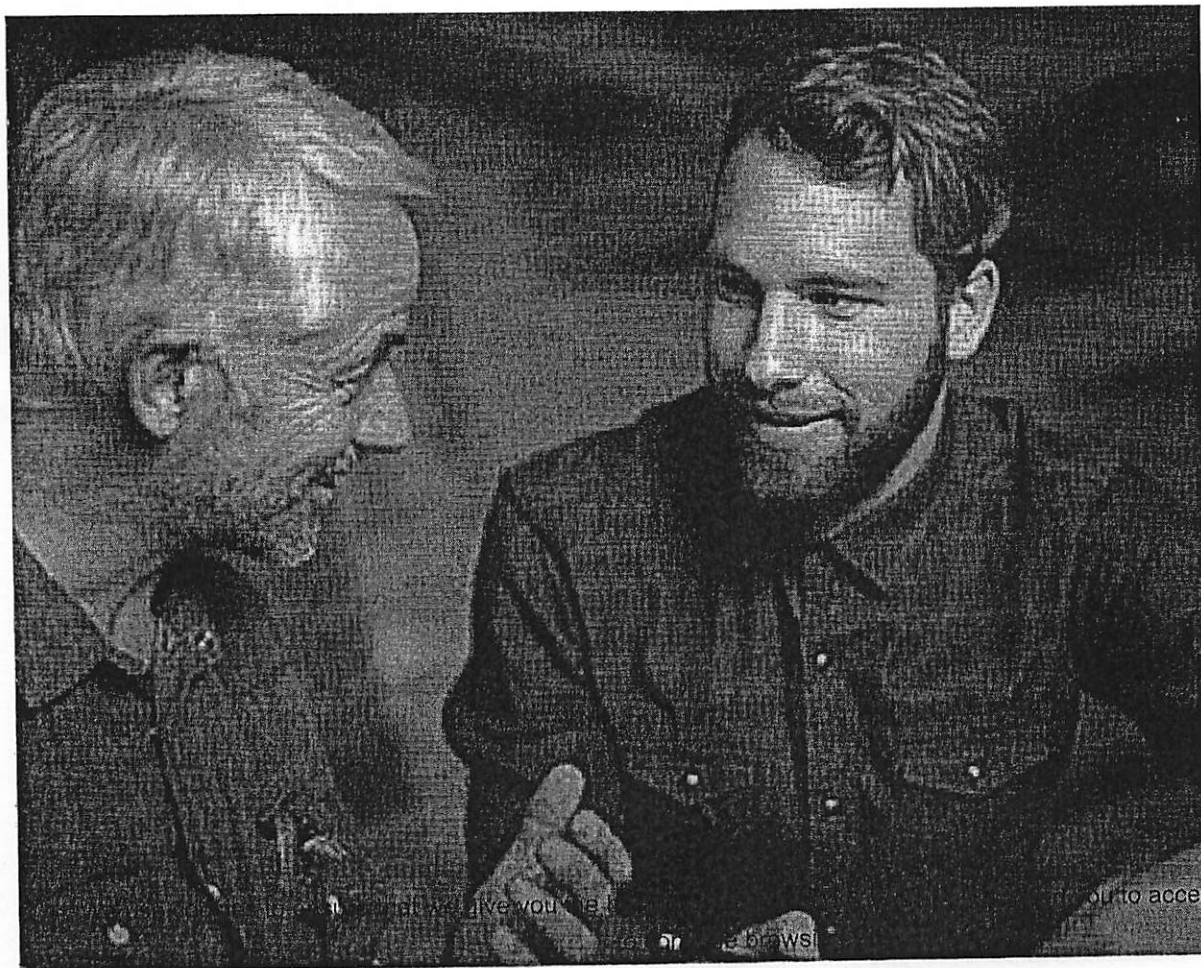
Wisconsin

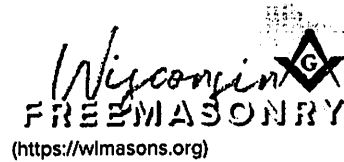
(<https://wimasons.org>)

Freemasonry (or Masonry) is the oldest fraternal organization in the world. Though its origins can be traced to the stonemasons and cathedral builders of Medieval times, Freemasonry remains a vital force in the daily lives of millions of men across the globe.

Through a series of degrees and ceremonies, the values of Freemasonry are passed from generation to generation, Mason to Mason, in a timeless and tireless effort to make good men better. These degrees provide a framework that affects every aspect of modern life and are based on the values of brotherly love, relief, and truth.

Every year in virtually every city and town across America, thousands of men join the ranks of Freemasonry. Men of honor and integrity. Of charity and obligation. Each with a vow to be the best they can be. To be more than just a man. To be a Mason.





## FAQ

# Frequently Asked Questions

## GET THE FACTS

BROWSE THROUGH SOME FREQUENTLY ASKED QUESTIONS.

### ^ What is Freemasonry?

Freemasonry is the most widely recognized fraternal society in the world. It is a centuries-old brotherhood of men from different religious, ethnic, social, and economic backgrounds. It requires each member to believe in a Supreme Being, while accepting that his fellow members may hold very different beliefs than his own. Freemasonry respects each man's success and place in society while treating him as an equal in the lodge room. It encourages members to take the lessons learned in the lodge, such as tolerance, integrity, civility, and charity, and apply them outside the lodge for the betterment of themselves, their families, and their communities. Thus, good men build character and become even better friends, citizens, husbands, fathers, and brothers. Today, Masonry has over 3 million members, with more than 1 million residing in North America.

### ∨ Why should I become a Freemason?

### ∨ How does Freemasonry make me a better man?

### ∨ Who can be a Freemason?

### ∨ Do I have to be invited by a current Mason to join?

### ∨ Do I have to live in Wisconsin to join the Freemasons?

### ∨ What is a Masonic Lodge?

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### ∨ What is the history of Freemasonry?

- ✓ Are you really a "secret society"?
- ✓ Is Freemasonry a religion?
- ✓ Why does Freemasonry use symbols?
- ✓ Why do Masons wear aprons and other regalia?
- ✓ Can any man become a Mason?
- ✓ Can women join Freemasonry?
- ✓ Does Freemasonry offer family activities?
- ✓ Is Freemasonry some sort of political pressure group?
- ✓ Why is there a Bible in the lodge?
- ✓ What are the degrees of Freemasonry?
- ✓ How long does it take to become a Freemason?
- ✓ Do I need to have a background check?
- ✓ What is the highest rank in Freemasonry?
- ✓ You use the word "ritual". What does that really mean?
- ✓ Do Masons take oaths on the Bible?
- ✓ I have heard that you take oaths with strange penalties if violated. Is that true?
- ✓ Do churches approve of Freemasonry?
- ✓ Is Freemasonry a patriotic body?
- ✓ Does Freemasonry have a political affiliation?
- ✓ How much does it cost to be a Freemason?



## TAKE YOUR FIRST STEP

When you become a Freemason, you begin your journey toward being a better man. You will build rich, meaningful relationships with your Brothers, commit to the service of those around you, and strive for a deeper, more honest connection with yourself and others. It's a journey of self-discovery and enlightenment.

Make a difference.  
Find your truth.

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# FAQ

## *Frequently Asked Questions* **GET THE FACTS**

BROWSE THROUGH SOME FREQUENTLY ASKED QUESTIONS.

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- ✓ Are you really a "secret society"?
- ^ Is Freemasonry a religion?

No. Freemasonry is not a religion, nor a substitute for religion. Freemasonry's focus is on a man's relationship with his fellow men. We leave the relationship between a man and his creator to himself and his personal religion. Freemasonry does not judge, interpret, or in any way attempt to change the religious beliefs of its members. In fact there are no discussions of religion (or politics) allowed in lodge meetings.

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Our meetings, like those of many other organizations, begin and end with a non-denominational prayer. We often refer to God as the *Great Architect of the Universe*. It is a descriptive title that allows each member to think of the Supreme Being according to his own beliefs and convictions, but all are respectful of those around him. Thus, Christians, Jews, Muslims, Buddhists, and anyone else who is spiritual but not affiliated with a particular religion, can sit together in Lodge and share a common prayer while each worships his Supreme Being in his own way.

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